

## DOWNTOWN ZONING CODE

AS CONSOLIDATED FROM THE FORTHCOMING UDC:  
89-13 "D" DOWNTOWN ZONING DISTRICT & ASSOCIATED STANDARDS

LAFAYETTE, LOUISIANA

**DRAFT Version 1.8: January 15, 2015**



## How this Code is Organized

### Section I: General Provisions

The foundation for the code, applicable to the entire code.

### Section II: Lot and Building Regulations:

Minimum standards for lots and buildings within the private realm.

### Section III: Public Realm Regulations:

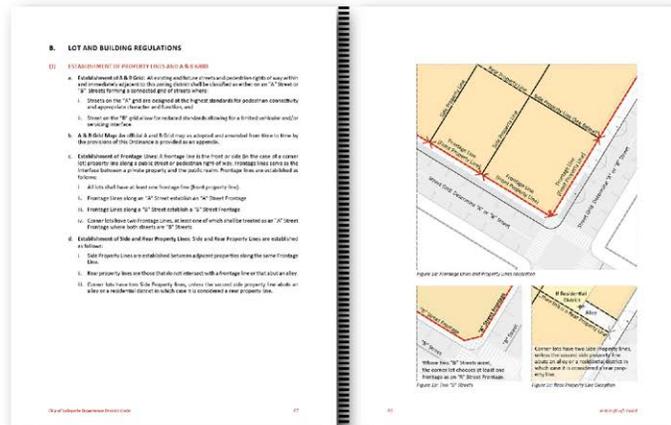
Minimum standards for the public realm :

**Public Frontage:** defined as the area between the front property line and the edge of curb.

**Thoroughfare:** defined as the vehicular lanes between the edge of the curbs.

## How Pages are Organized

This code is intended to be viewed as a two page spread where the code text is on the left page and code standards are illustrated on the right page. The illustrations are intended to support the code text, and do not contain all code details and standards.



Code Text on Left

Standards Illustrated on Right

## TABLE OF CONTENTS

<b>(A) GENERAL PROVISIONS</b> .....	<b>3</b>
(1) AUTHORITY.....	2
(2) PURPOSE.....	2
(3) INTENT.....	2
<b>(B) LOT AND BUILDING REGULATIONS</b> .....	<b>7</b>
(1) ESTABLISHMENT OF LOT LINES AND A & B STREETS .....	7
(2)A BUILDING PLACEMENT: SETBACKS .....	9
(2)B BUILDING PLACEMENT: FRONTAGE BUILDOUT.....	11
(3) BUILDING HEIGHT.....	13
(4)A BUILDING INTERFACE: GENERAL .....	15
(4)B BUILDING INTERFACE: COMMERCIAL FRONTAGE .....	17
(4)C BUILDING INTERFACE: URBAN RESIDENTIAL FRONTAGE .....	19
(4)D BUILDING INTERFACE: GALLERY STANDARDS.....	21
(4)E BUILDING INTERFACE: AWNING STANDARDS .....	23
(5) PARKING & ACCESS.....	25
(7) LAND USE .....	29
<b>(C) PUBLIC REALM REGULATIONS</b> .....	<b>31</b>
(1) PUBLIC FRONTAGE.....	31
<b>(D) DEFINITIONS</b> .....	<b>33</b>
<b>(E) ADMINISTRATION</b> .....	<b>37</b>

**(1) AUTHORITY**

This Code represents the consolidated contents of the Unified Development Code (UDC) pertaining to the Downtown zoning district. When in conflict, the provisions of the most recently approved UDC shall prevail.

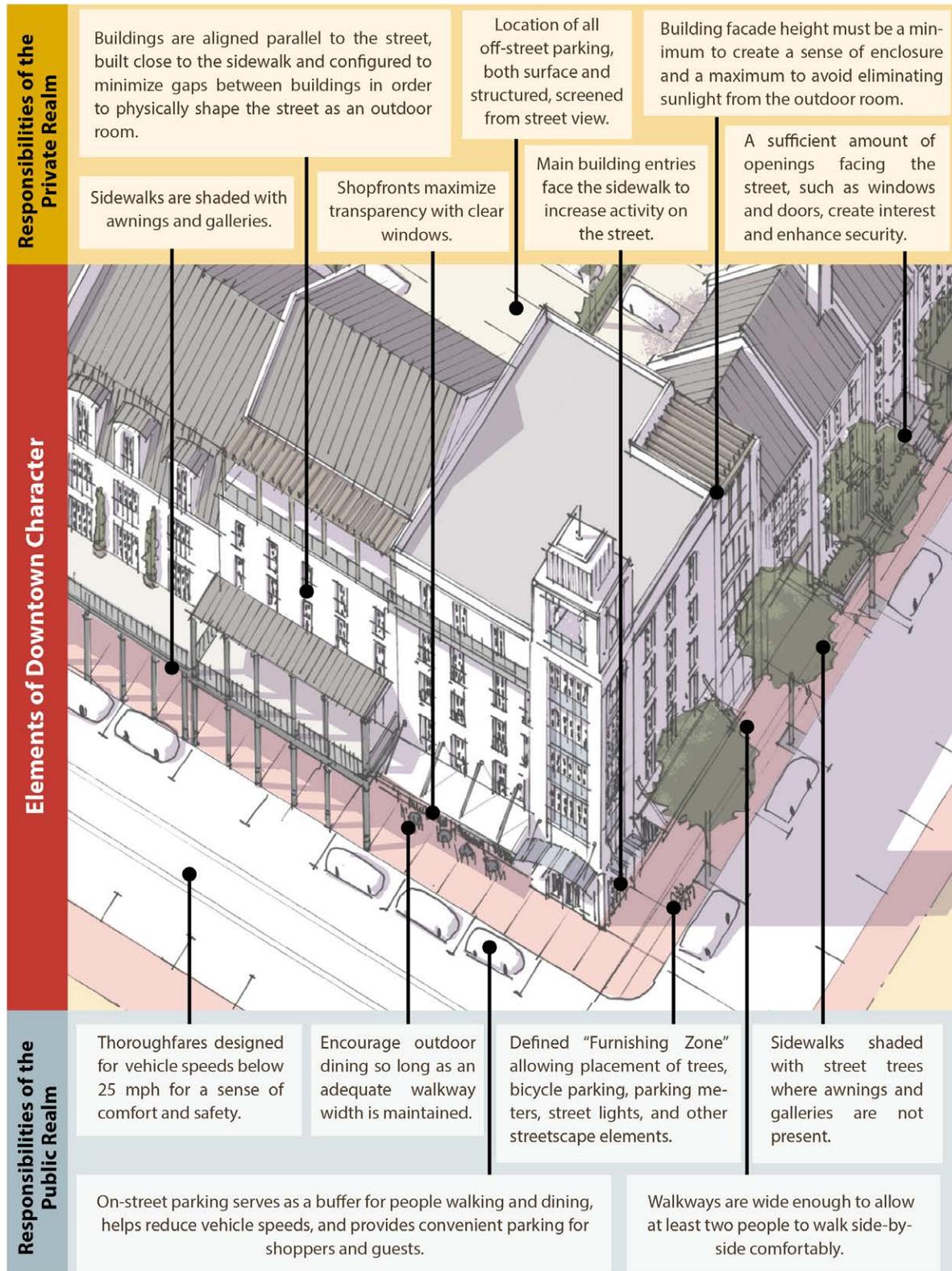
**(2) PURPOSE**

To establish zoning regulations and design standards implementing compact, walkable, mixed use development patterns.

**(3) INTENT**

1. To implement the vision and principles as set out in the "Plan Lafayette" comprehensive plan and "Downtown Action Plan" that were adopted on June 10, 2014.
2. To provide development standards that enhance and protect the core downtown amenities of vibrancy as characterized by human activity and interaction; convenience to one's daily needs; and public space as defined by high quality outdoor rooms.
3. To ensure the appropriate character and function for **private property** having the following characteristics:
  - i. Buildings are aligned parallel to the street, built close to the sidewalk, and configured to minimize gaps between buildings in order to physically shape the street as an outdoor room.
  - ii. Sidewalks are shaded with awnings and galleries.
  - iii. Shopfronts maximize transparency with clear windows.
  - iv. Location of all off-street parking, both surface and structured, screened from street view.
  - v. Main building entries face the sidewalk to increase activity on the street.
  - vi. Building Facade height must be a minimum to create a sense of enclosure and a maximum to avoid eliminating sunlight from the outdoor room.
  - vii. A sufficient amount of openings facing the street, such as windows and doors, create interest and enhance security.
4. To ensure the appropriate character and function for the **public realm** having the following characteristics:
  - i. Thoroughfares designed for vehicle speeds below 25 mph for a sense of comfort and safety.
  - ii. Encourage outdoor dining so long as an adequate walkway width is maintained.
  - iii. Defined "Furnishing Zone" allowing placement of trees, bicycle parking, parking meters, street lights, and other streetscape elements.
  - iv. Sidewalks shaded with street trees where awnings and galleries are not present.
  - v. On-street parking serves as a buffer for people walking and dining, helps reduce vehicle speeds, and provides convenient parking for shoppers and guests.
  - vi. Walkways are wide enough to allow at least two people to walk side-by-side comfortably.

## (a) GENERAL PROVISIONS



Intent as adapted from the Downtown Action Plan adopted June 10, 2014

#### **(4) APPLICATION AND APPROVAL PROCESS**

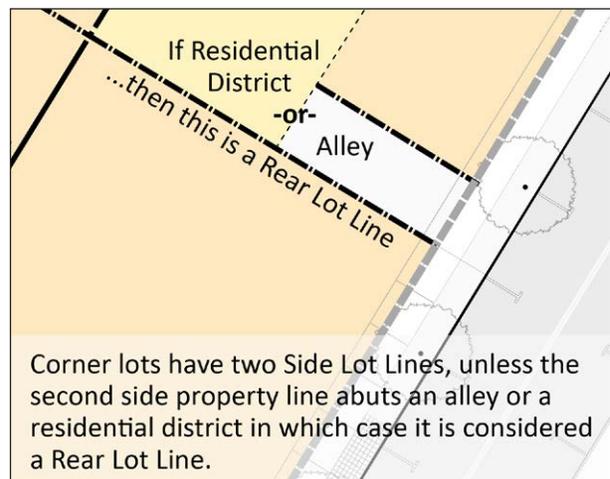
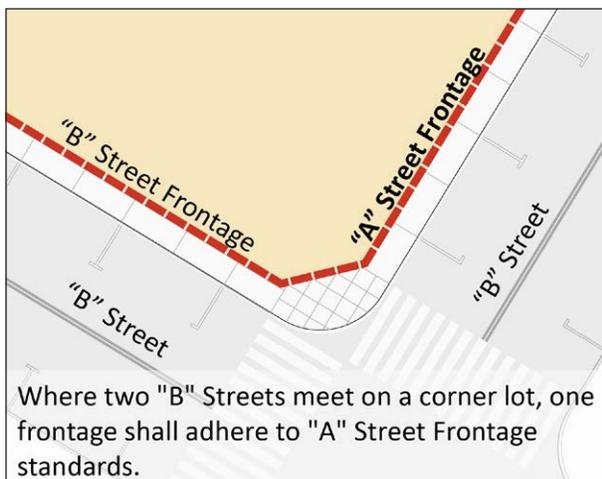
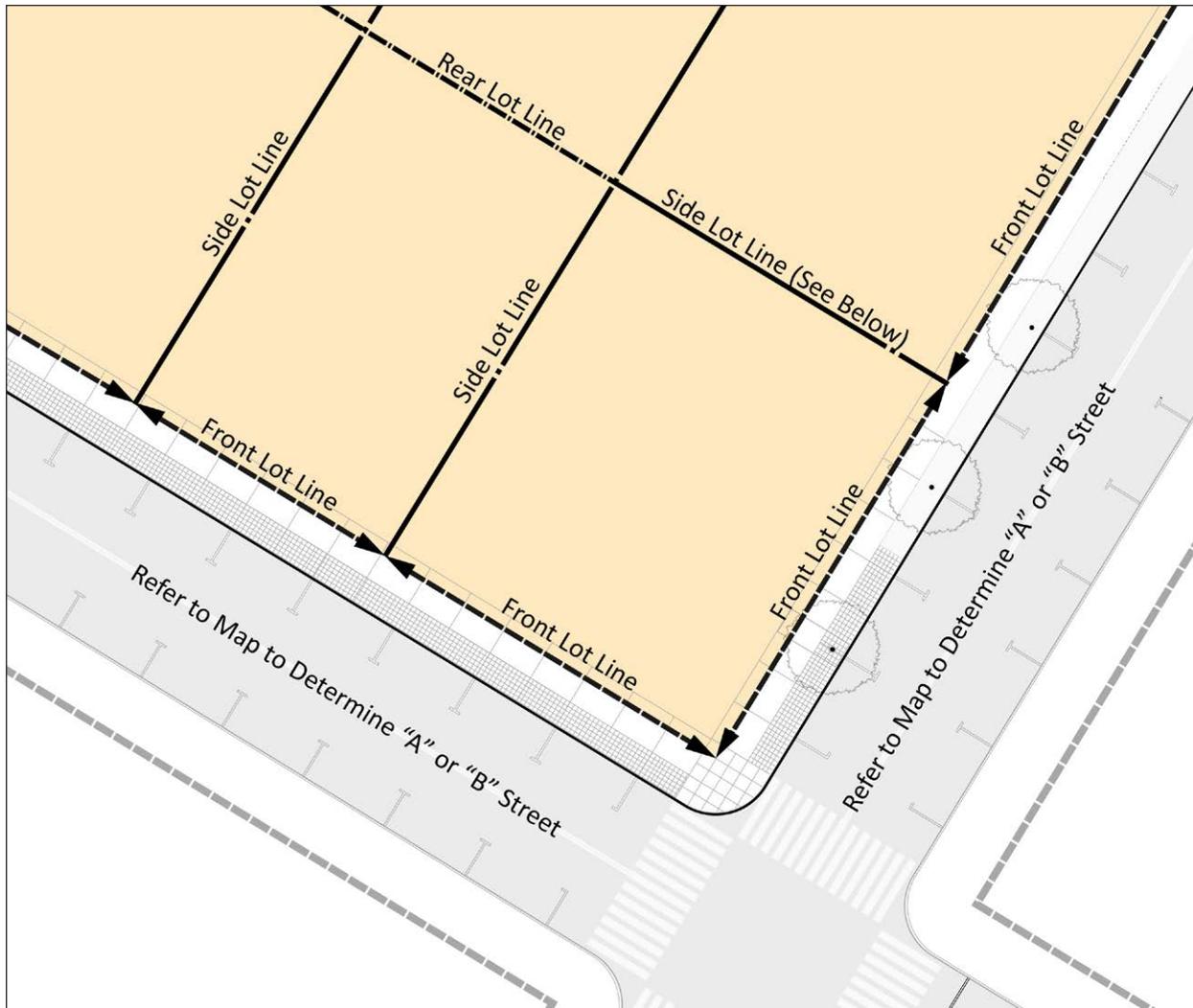
1. TBD



1. **Definition of Front Lot Line(s):** A Front Lot Line is the front or side (in the case of a corner lot) lot line along a public street or pedestrian right-of way. All lots shall have at least one front lot line.
2. **Definition of Side and Rear Lot Lines:** Side and Rear Lot Lines are established as follows:
  - i. Side Lot Lines are established between adjacent lots.
  - ii. Rear lot lines are those that do not intersect with a front lot line or that abut an alley.
  - iii. Corner lots have two side lot lines, unless the second side lot line abuts an alley or a residential district in which case it is considered a rear lot line.
3. **Establishment of A & B Streets:** All existing and future streets and pedestrian rights of way within and immediately adjacent to this zoning district shall be classified as either an "A" Street or "B" Street where:
  - i. "A" Streets are designed at the highest standards for vibrancy as characterized by human activity and interaction, and public spaces defined by high quality outdoor rooms.
  - ii. "B" Streets allow for reduced Frontage standards allowing for more flexibility and a limited vehicular interface.
  - iii. Corner lots have two Front Lot Lines. Where two "B" Streets meet, one frontage shall adhere to "A" Street Frontage standards.
4. **A & B Streets Map:** An official A and B Street Map as adopted and amended from time to time by the provisions of this Ordinance is provided as an appendix.

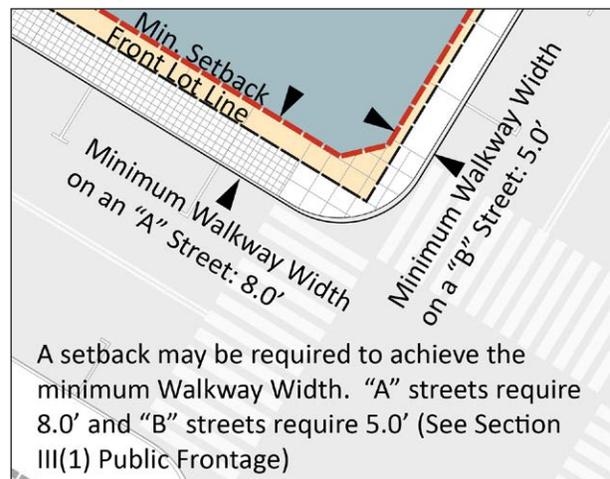
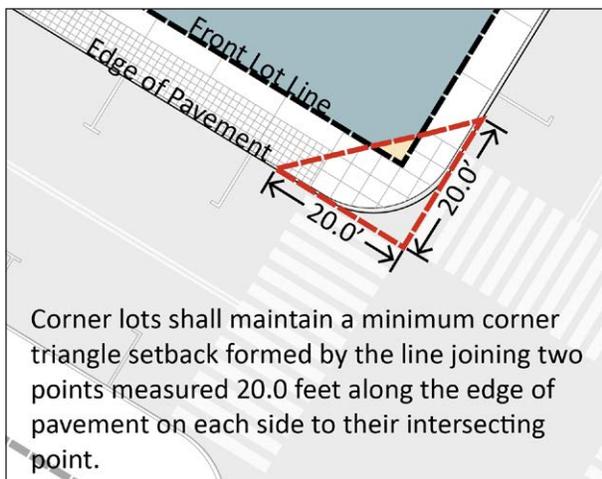
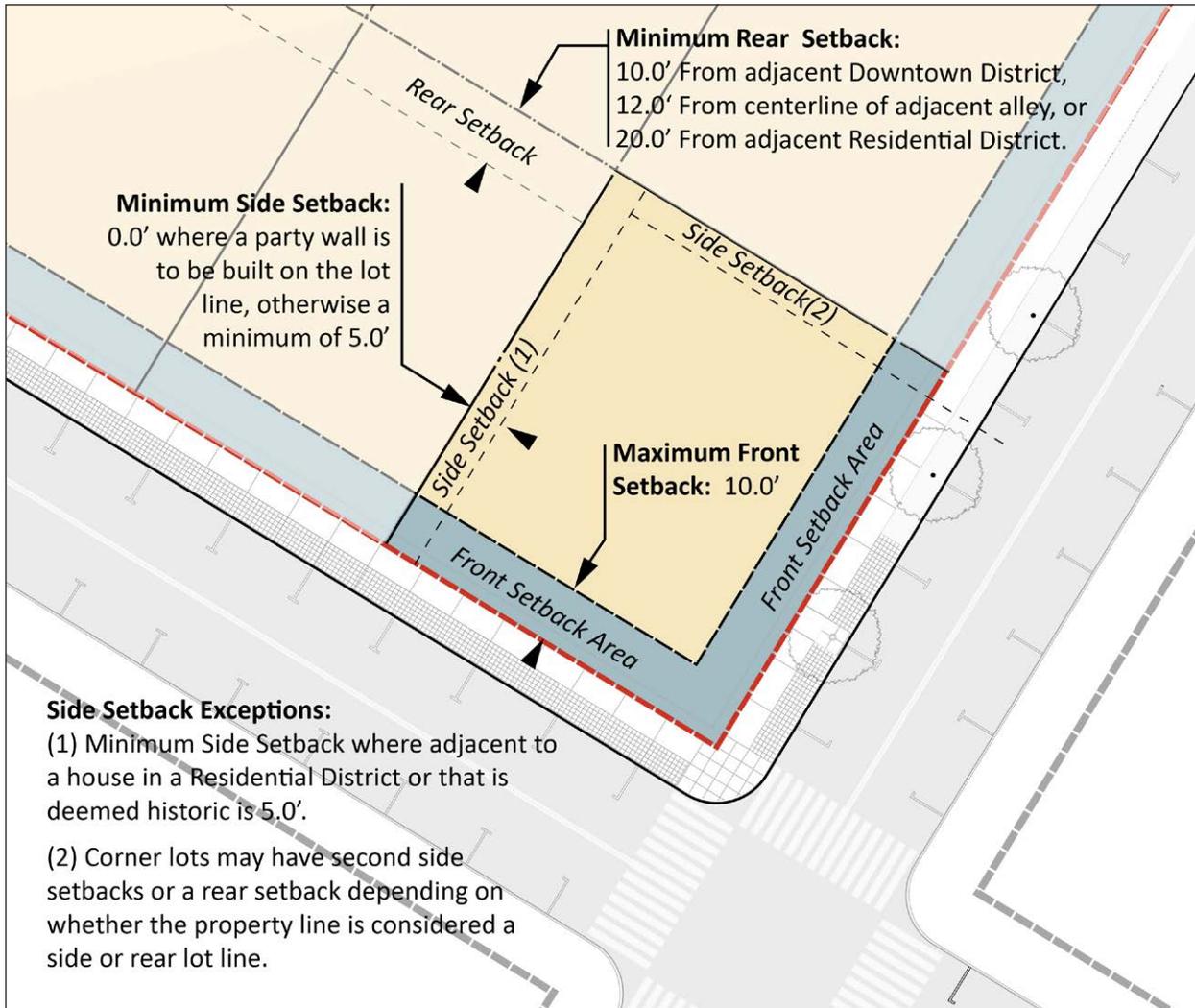
## (b) LOT AND BUILDING REGULATIONS

### (1) ESTABLISHMENT OF LOT LINES AND A & B STREETS



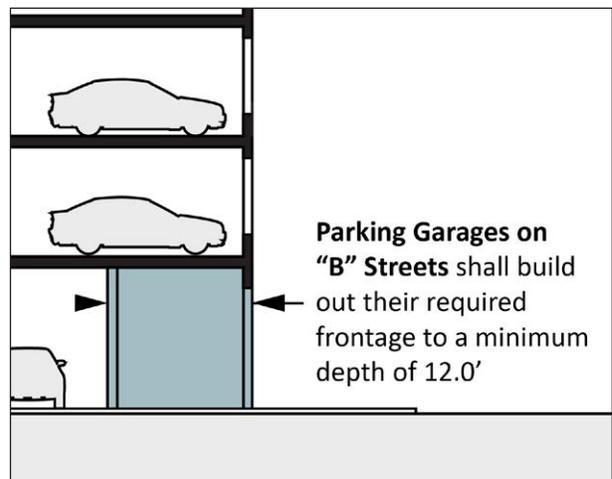
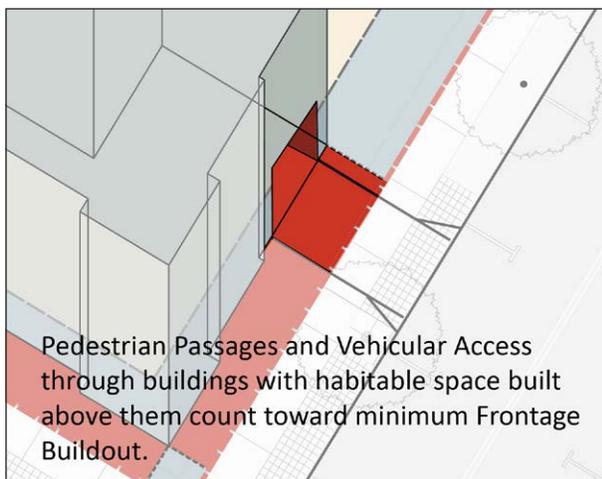
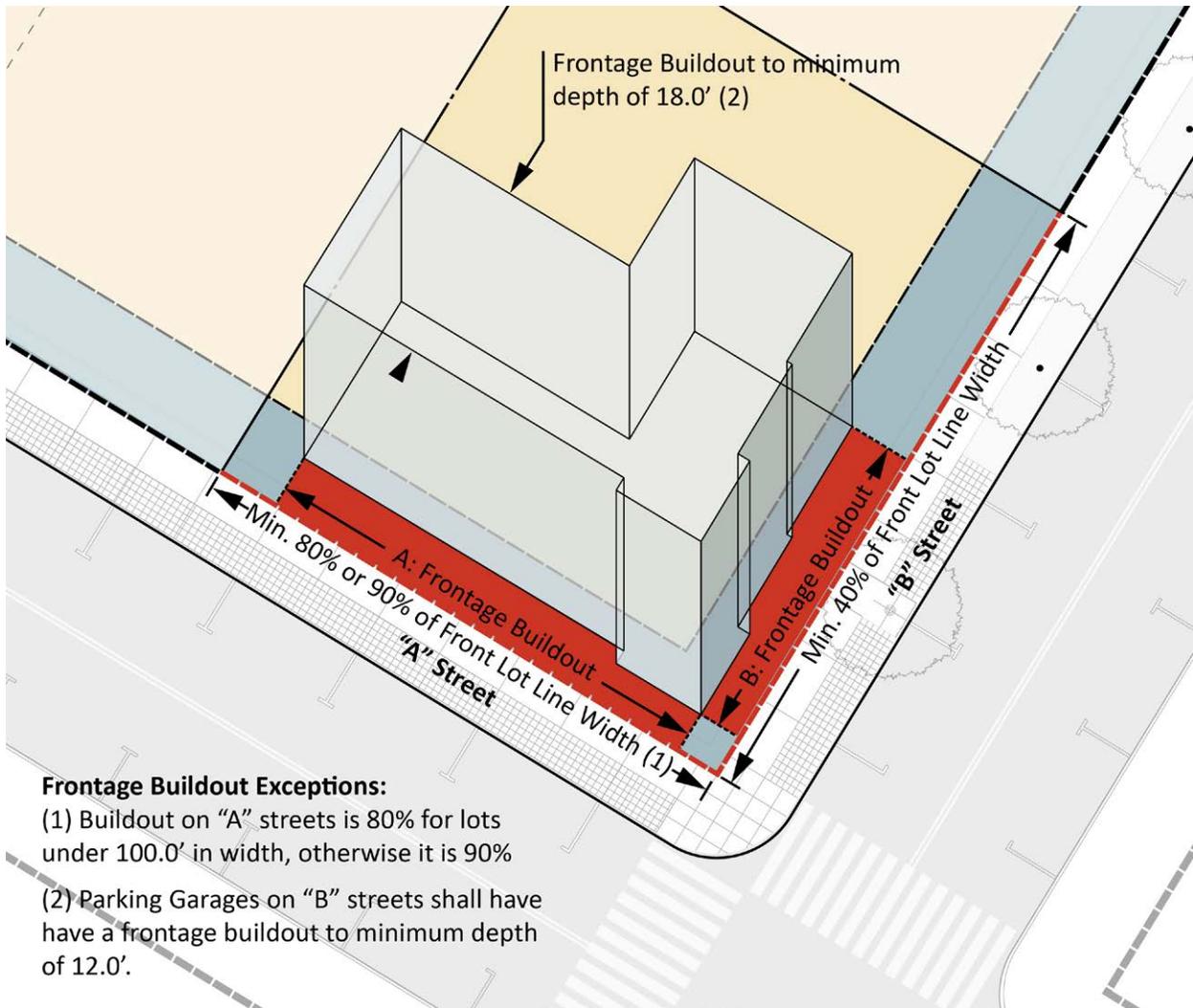
1. **Front Setback:** Maximum 10.0 feet.
  - i. **Front Setback Area:** The area within the front setback shall be the Front Setback Area and shall be used for:
    - placement and articulation of the building Facade;
    - establishing required minimum Public Walkways;
    - providing additional sidewalk space for outdoor dining and other commercial-related activities,
    - street furniture and non-permanent planters; and
    - in the case of a Residential Frontage, landscaped yards and building access such as porches and stoops.
  - ii. **Required Front Setback for Walkway:** Where a minimum Public Walkway width requirement has not been met, a setback is required in accordance with Building Interface and Public Frontage Standards.
  - iii. **Required Front Setback at Corner:** To ensure adequate pedestrian circulation and visibility at corners, corner lots shall maintain a minimum corner setback formed by the line joining two points measured 20.0 feet along the edge of pavement on each side to their intersecting point.
  - iv. **Corner Sight Triangle:** Setbacks imposed by Corner Sight Triangles shall not apply to Frontages at corners where the design speeds of adjoining thoroughfares are less than 25mph.
2. **Side Setback:** There shall be no required setback where a Party Wall is built at the lot line, otherwise a minimum 5.0 foot side setback is required where:
  - no party wall is to built, or
  - the abutting lot is zoned Residential.
3. **Rear Setback:** Minimum setbacks from a rear lot line shall be as follows:
  - i. 12.0 feet from the center-line of an alley, or
  - ii. 10.0 feet from a rear lot line adjoining another Downtown parcel or Commercial district, or
  - iii. 20.0 feet from a rear lot line adjoining a lot zoned Residential.
4. **Secondary Building Setbacks:** On lots with more than one building and where the Frontage Buildout requirements of this district have been met, additional buildings on a lot shall not be subject to the front setback and Frontage Buildout requirements.

**(2)a BUILDING PLACEMENT: SETBACKS**



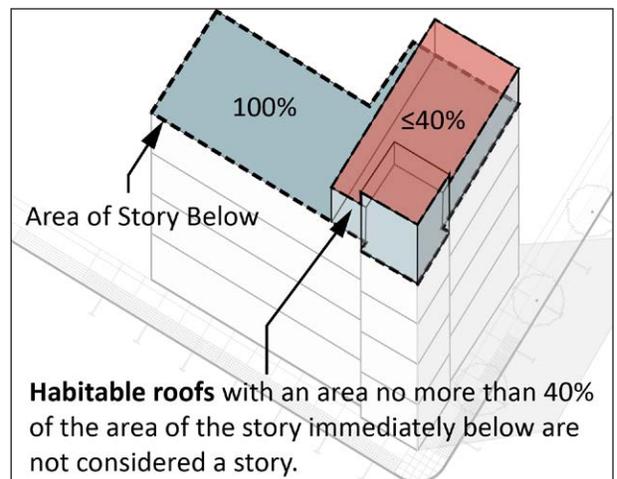
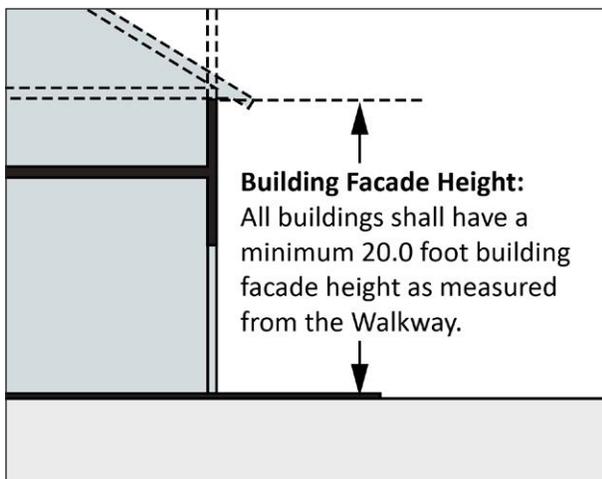
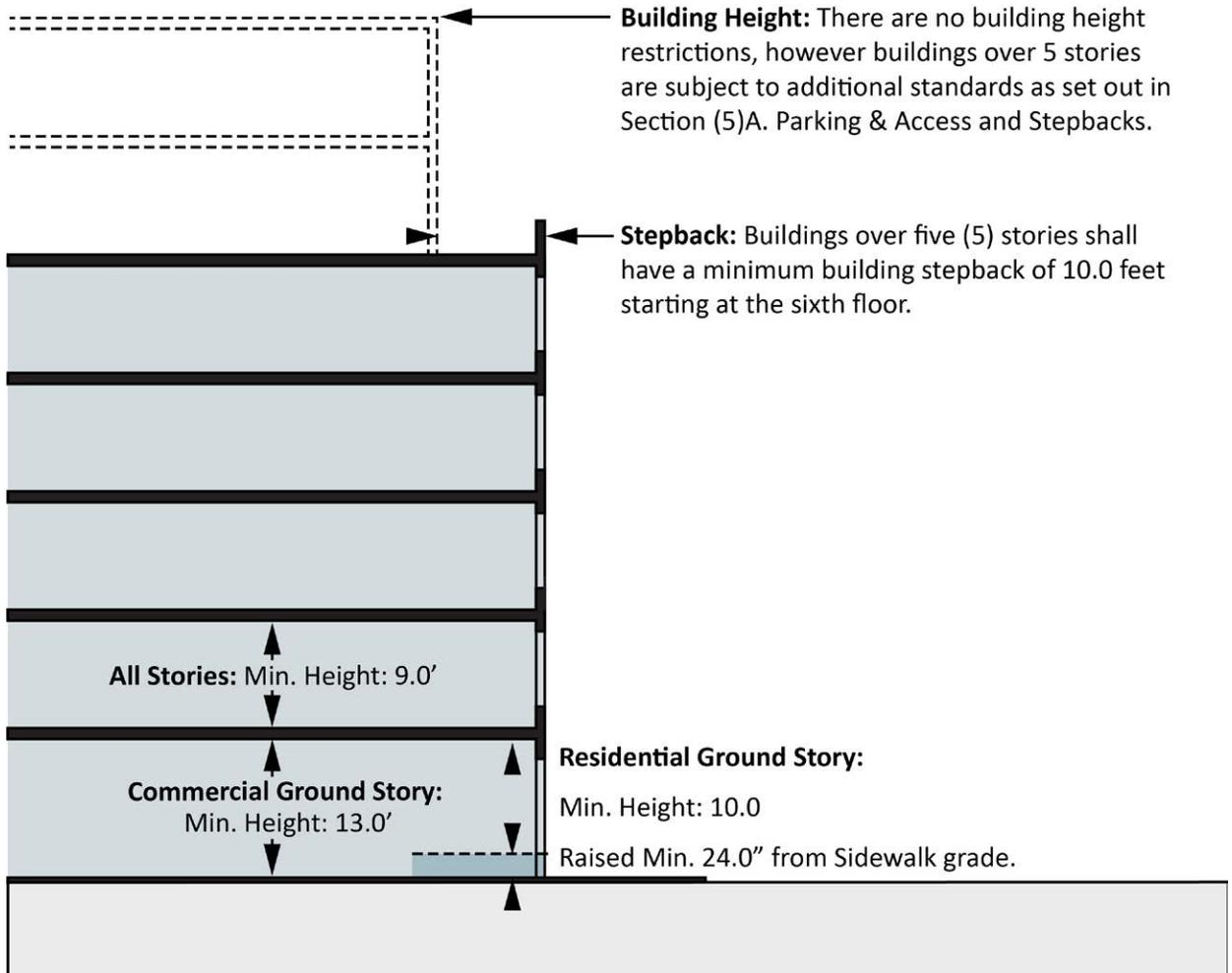
1. **Frontage Buildout:** The Facade of a building shall be built to a minimum percentage of the Front lot Line width within the maximum allowed front setback as follows:
  - i. For Frontages on an "A" Street with a Front Lot Line width of 100.0 feet or less, a minimum of 80% of the Facade must be built within the Front Setback Area.
  - ii. For Frontages on a "A" Street with a lot widths greater than 100.0 feet, a minimum of 90% of the Facade must be built within the Front Setback Area.
  - iii. For Frontages on a "B" Street: a minimum of 40% of the Facade must be built within the Front Setback Area.
  - iv. Pedestrian Passages and Vehicular Access through buildings having habitable space built above them to a minimum depth of 18.0 feet and within the Front Setback Area shall be counted toward minimum Frontage Buildout requirements.
2. **Building Depth:** The Frontage Buildout shall be built to the minimum building depth from the front Facade as follows:
  - i. Parking garages along "B" Streets shall build out their required Frontage Buildout to a minimum Building depth of 12.0 feet.
  - ii. All other buildings shall be built to the minimum depth of 18.0 feet.
  - iii. The Building Depth shall be Habitable Space as described in Section (4)A Building Interface General.
3. **Facade Alignment:** Facades facing the Front Lot Line shall be built parallel to a rectilinear Front Lot Line or to the tangent of a curved Front Lot Line.
4. **Building Footprint:** The maximum Building Footprint on a lot shall be 90% of the lot, unless the lot is under 10,000 square feet or has alley access.

**(2)b BUILDING PLACEMENT: FRONTAGE BUILDOUT**



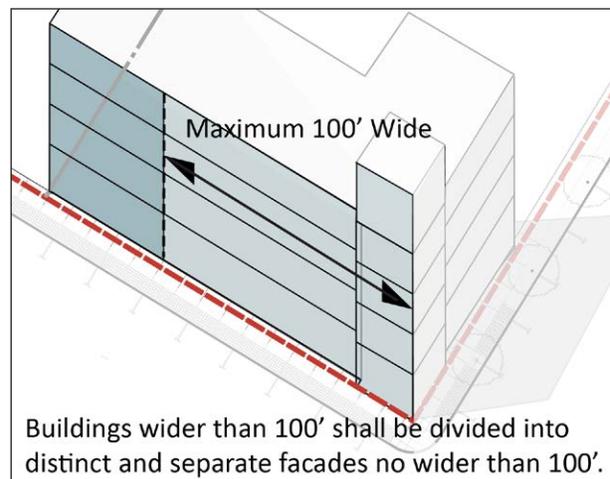
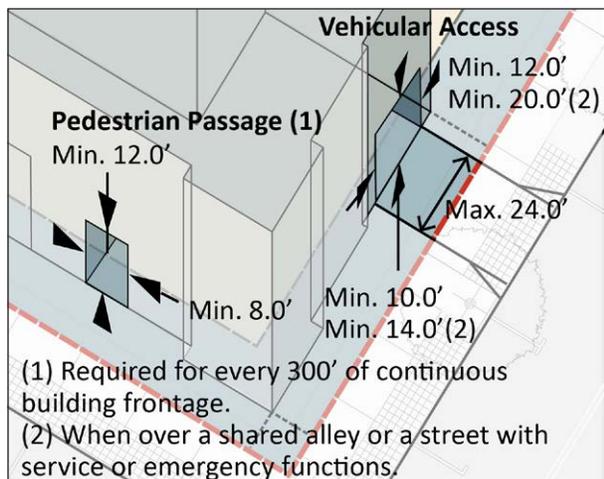
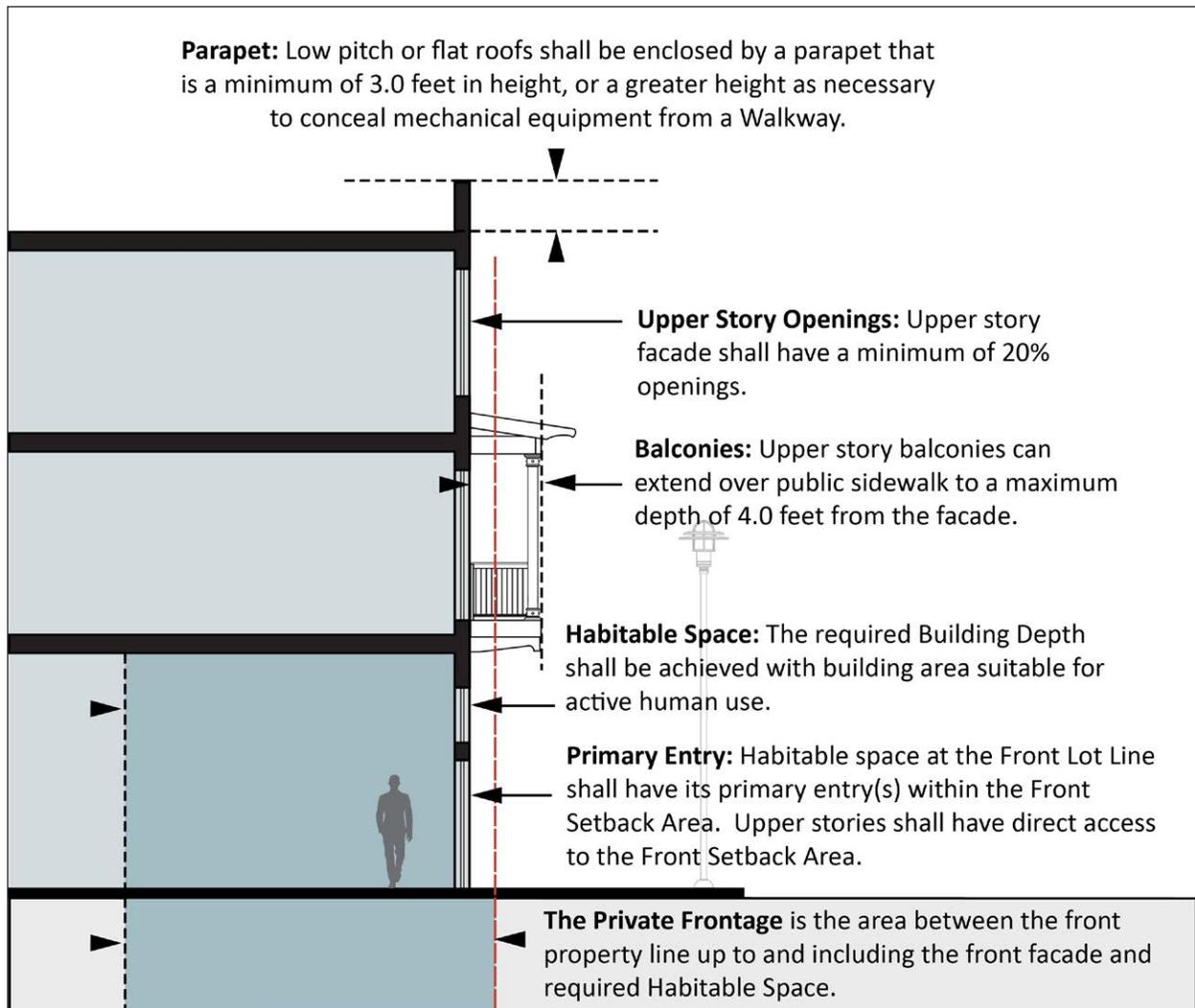
1. **Building Height:** There are no maximum building heights within the Downtown district except as they are limited by the following:
  - i. **Parking for Buildings over 5 Stories:** Buildings over five (5) stories shall be subject to additional Parking standards as set forth in Section (5)A Parking & Access; and
  - ii. **Stepbacks for Buildings over 5 Stories:** Buildings over five (5) stories shall have a minimum building stepback of 10.0 feet starting at the sixth floor.
2. **Building Facade Height:** All buildings shall have a minimum 20.0 foot building facade height as measured from the Walkway. Building facade height for single story buildings shall be measured from the Walkway to the top of a parapet or eaves line.
3. **Habitable Roofs:** Habitable Space within enclosed attics, towers, and penthouses with an area equalling 40% or less of the building area of the story immediately below shall not be counted as a story. Non-conditioned rooftop space, covered or uncovered, such as rooftop terraces and patios are permitted, but are not included as Habitable Space.
4. **Commercial Ground Story:** Commercial ground stories shall have a minimum 13.0 foot floor to ceiling height.
5. **Residential Ground Story:** Residential ground stories shall:
  - i. Be raised a minimum of 24.0 inches from sidewalk level; and
  - ii. Have a minimum 10.0 foot floor to ceiling height.
6. **Minimum Story Height:** All stories shall have a minimum floor to ceiling height of 9.0 feet.

**(3) BUILDING HEIGHT**



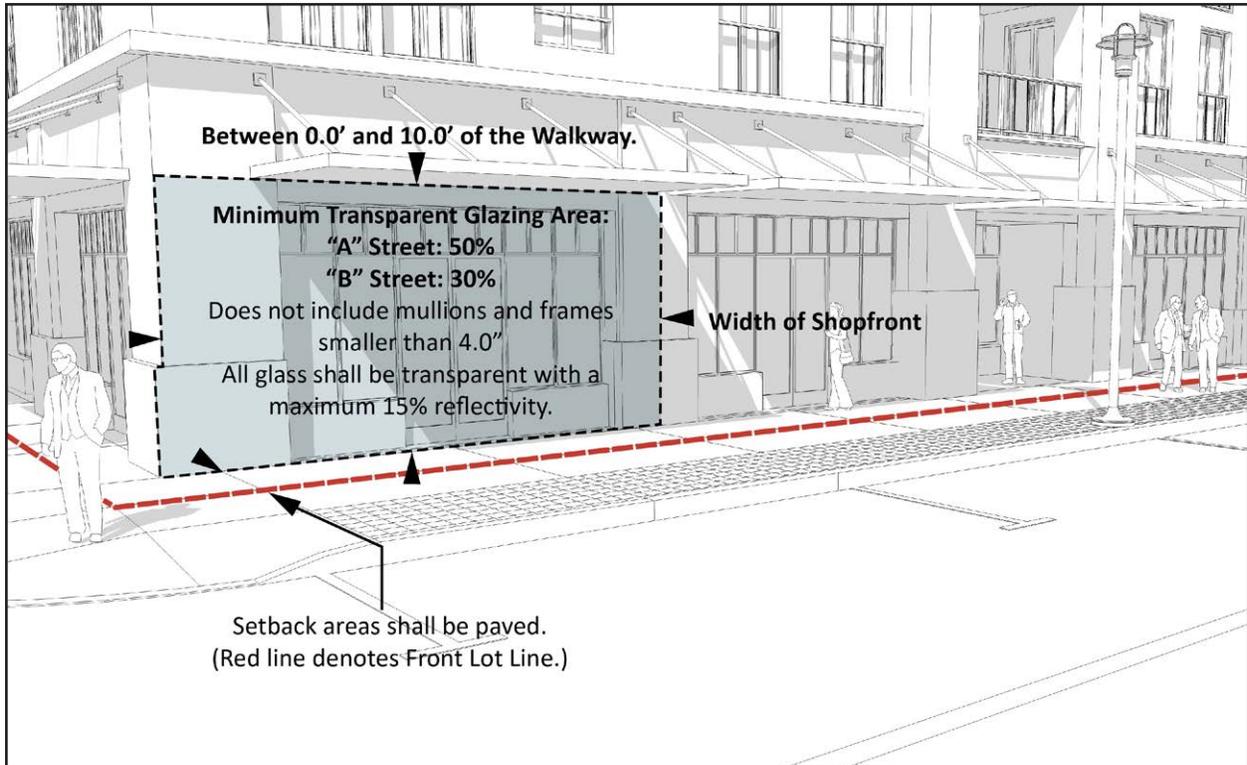
1. **Private Frontage Interface:** The Private Frontage shall be established as the area within the Front Setback Area from the Front Lot Line up to and including the Facade and the required Habitable Space.
2. **Habitable Space:** Habitable Space is building area suitable for active human use such as residential, office, retail, and institutional uses. Parking and warehousing are examples of non-Habitable Space. The required Building Depth as described in Section (2)B Frontage Buildout shall be Habitable Space.
3. **Primary Building Entry:** Habitable space at the Front Lot Line shall have its primary entry(s) within the Front Setback Area. Upper stories shall have direct access to the Front Setback Area.
4. **Private Frontage Interfaces:** There are two possible Private Frontage types. Private Frontages are limited to the following, and are to be designed in conformance to their applicable standards (as noted):
  - i. **Commercial Frontage (4)B**
  - ii. **Urban Residential Frontage (4)C**
5. **Frontage Attachments:** Galleries and Awnings are not required. Galleries and Awnings shall not overlap the Walkway and/or encroach into the public right-of-way unless constructed in accordance with (4)E Building Interface: Awning Standards and (4)D Building Interface: Gallery Standards.
6. **Upper Story Facade Requirements**
  - i. Glazing above the first Story Façade shall be a minimum of 20% of the Façade wall area.
  - ii. Low pitch or flat roofs on new buildings shall be enclosed by a parapet that is a minimum of 3.0 feet in height, or as necessary to screen the view of mechanical equipment from the Walkway. Existing buildings shall screen mechanical equipment through a parapet or by other means.
  - iii. Upper story balconies can extend over public sidewalk to maximum depth of 4.0 feet.
7. **Development over Access ways:** To achieve a connected street wall and for more efficient use of land, buildings may extend over pedestrian and vehicular access ways to internal blocks as follows:
  - i. Required Pedestrian Passages shall form a continuous minimum at-grade opening of 12.0 feet sidewalk to ceiling height and a width of 8.0 feet.
  - ii. Vehicular access to structured and surface parking having the following unobstructed dimensions:
    - a minimum opening height of 10.0 feet in height, or 14.0 feet in height when over a shared alley or street with service or emergency functions; and
    - a minimum width of 12.0', or a minimum width of 20 feet (18 feet curb face to curb face minimum) when over a shared alley or street with service or emergency functions. The maximum width of the opening shall be 24 feet.
8. **Required Pedestrian Passage:** Any block length having 300.0 feet or more of continuous building Frontage shall be required to have an unobstructed pedestrian passageway for emergency service access.
9. **Building Facades:** Buildings wider than 100 feet shall be divided into distinct and separate Building Facades no wider than 100.0 feet.

**(4)A BUILDING INTERFACE: GENERAL**



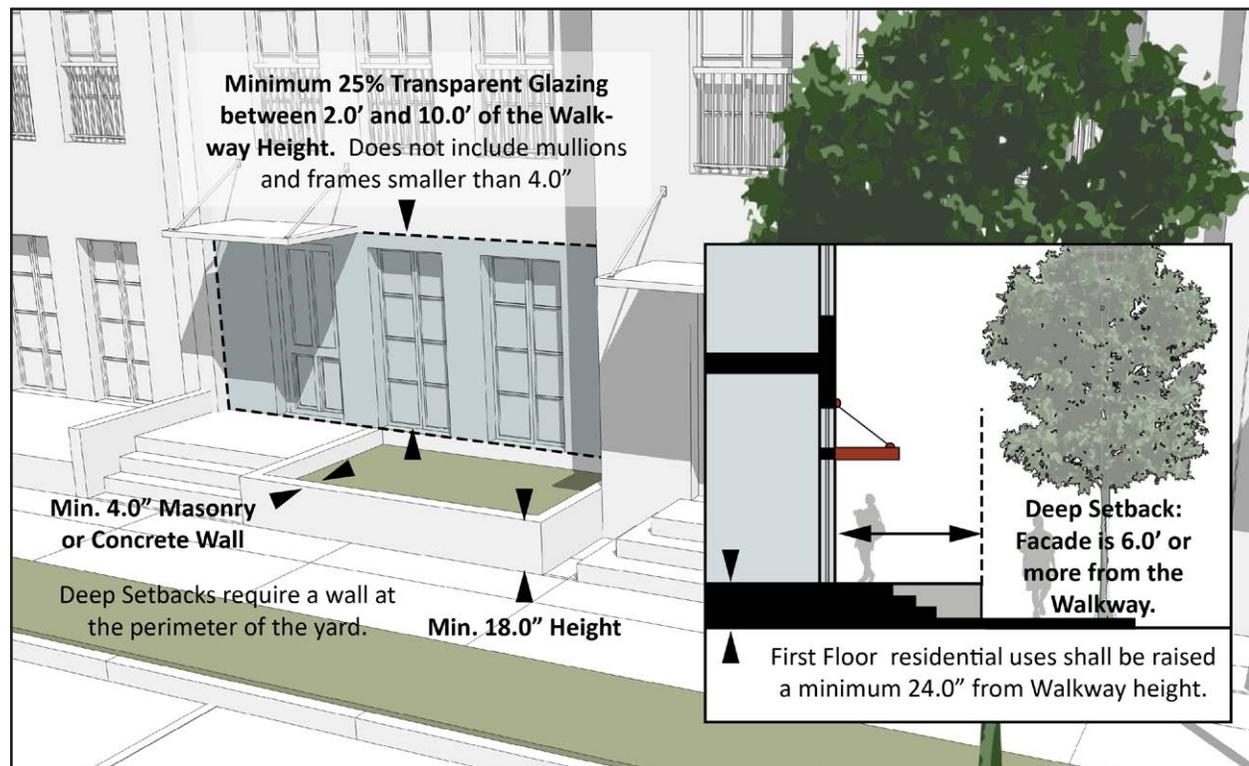
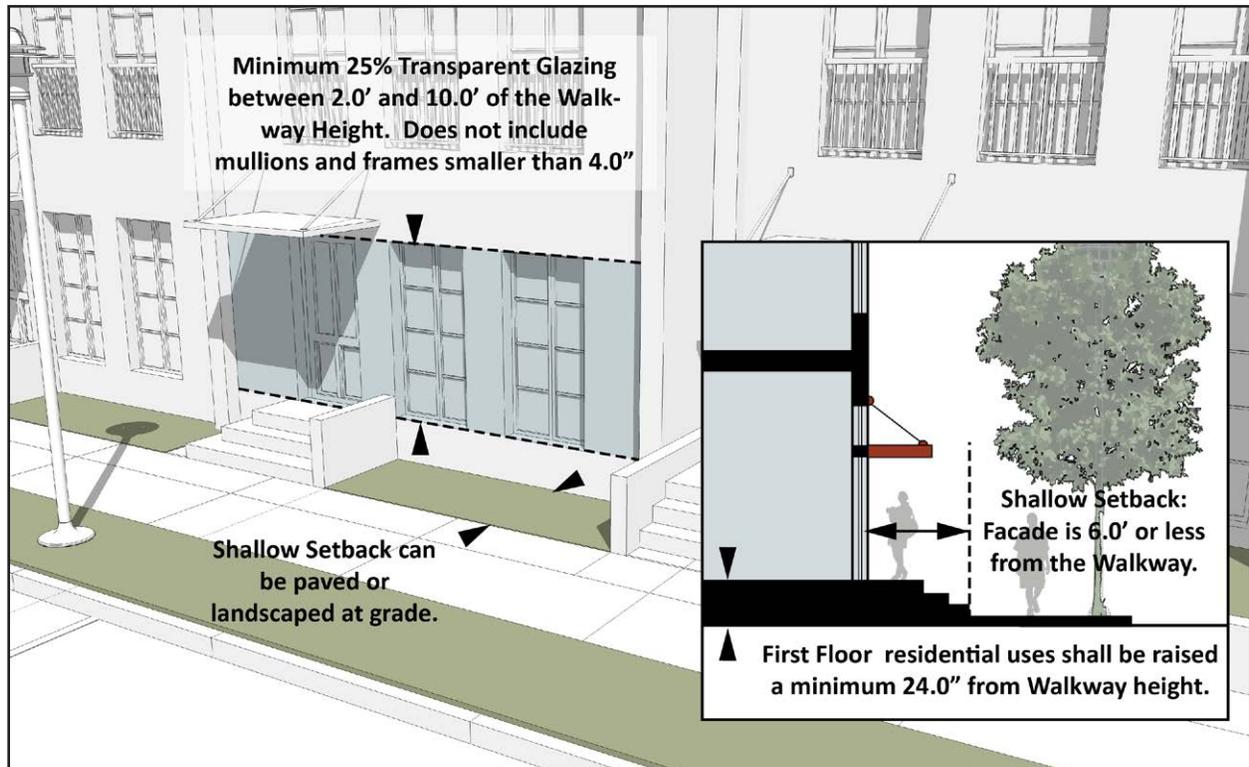
1. **Minimum Glazing:** Facades along "A" Streets shall be glazed with no less than 50% of the first story measured between 0.0 feet and 10.0 feet of the Walkway. Facades along "B" Streets shall be glazed with no less than 30% of the first story measured between 0.0 feet and 10.0 feet of the Walkway. Mullions, muntin and frames that are no wider than 4.0 inches shall be included as part of the Glazed area.
2. **Glass Transparency:** All glass shall be transparent with a maximum 15% reflectivity. Any window tinting, graphics, and interior affixed window shades that create a permanent opaque or translucent condition are prohibited, except for allowed signage.
3. **Setback Landscaping:** Setbacks shall be paved and shall be available for outdoor dining and furnishing where the minimum Walkway width is established (Section III(1)).
4. **Shading of Private and Public Frontage:** In addition to shade provided by street trees where they are provided, shading of the private and public frontage can be achieved through the combination of a Gallery and/or Awning Frontage.

**(4)B BUILDING INTERFACE: COMMERCIAL FRONTAGE**



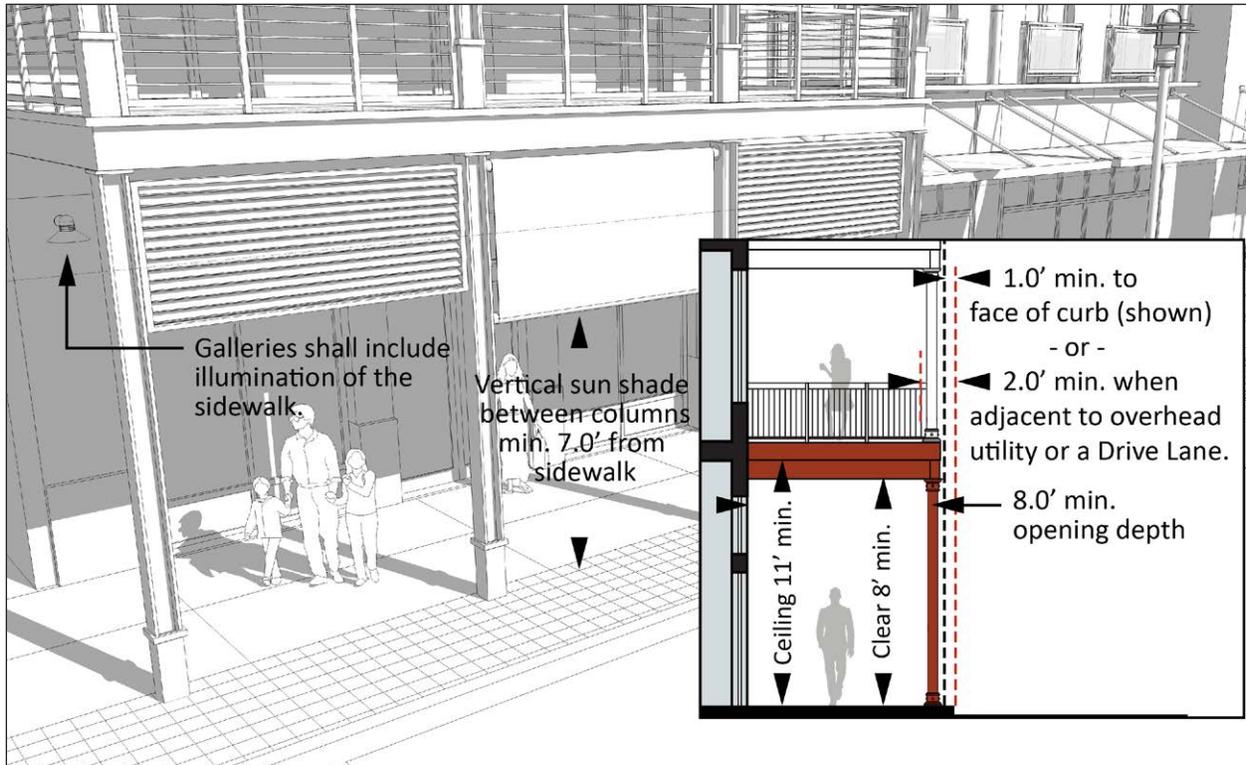
1. **Minimum Glazing:** Facades shall be glazed with no less than 25% of the first story measured between 2.0 feet and 10.0 feet of the Walkway.
2. **Glass Transparency:** All glass shall be transparent with a maximum 15% reflectivity. Window tinting and interior affixed window shades that create a permanently opaque or translucent condition are prohibited. Window shading and privacy can be achieved through interior adjustable window treatments, and/or operable exterior shutters.
3. **Raised Ground Story Access:** Access to the required minimum 24.0 inch raised residential ground story can be achieved through exterior or interior steps and ramping.
4. **Flex Frontage:** The raised residential ground story requirement shall be waived where:
  - i. The ground story at the Frontage to a minimum depth of 18.0 feet is built to a commercial building standard;
  - ii. No other residential room is at the frontage;
  - iii. There is a separate entry for the Residential and Commercial areas of the building, and a lockable interior connection between the areas.
5. **Shallow Setback Landscaping:** After minimum walkway requirements are met, setbacks less than 6.0 feet may be landscaped or paved.
6. **Deep Setback Landscaping:** After minimum walkway requirements are met, setbacks over 6.0 feet of the walkway shall be landscaped.
7. **Deep Setback Planter Wall:** After minimum walkway requirements are met and where setbacks from the Walkway are greater than 6 feet, a required landscaping wall shall be built at the perimeter of the yard, measuring a minimum 18.0 inches in height, and 4.0 inches in depth. A side wall is not required where the planter wall is continuous with an abutting yard.

**(4)C BUILDING INTERFACE: URBAN RESIDENTIAL FRONTAGE**



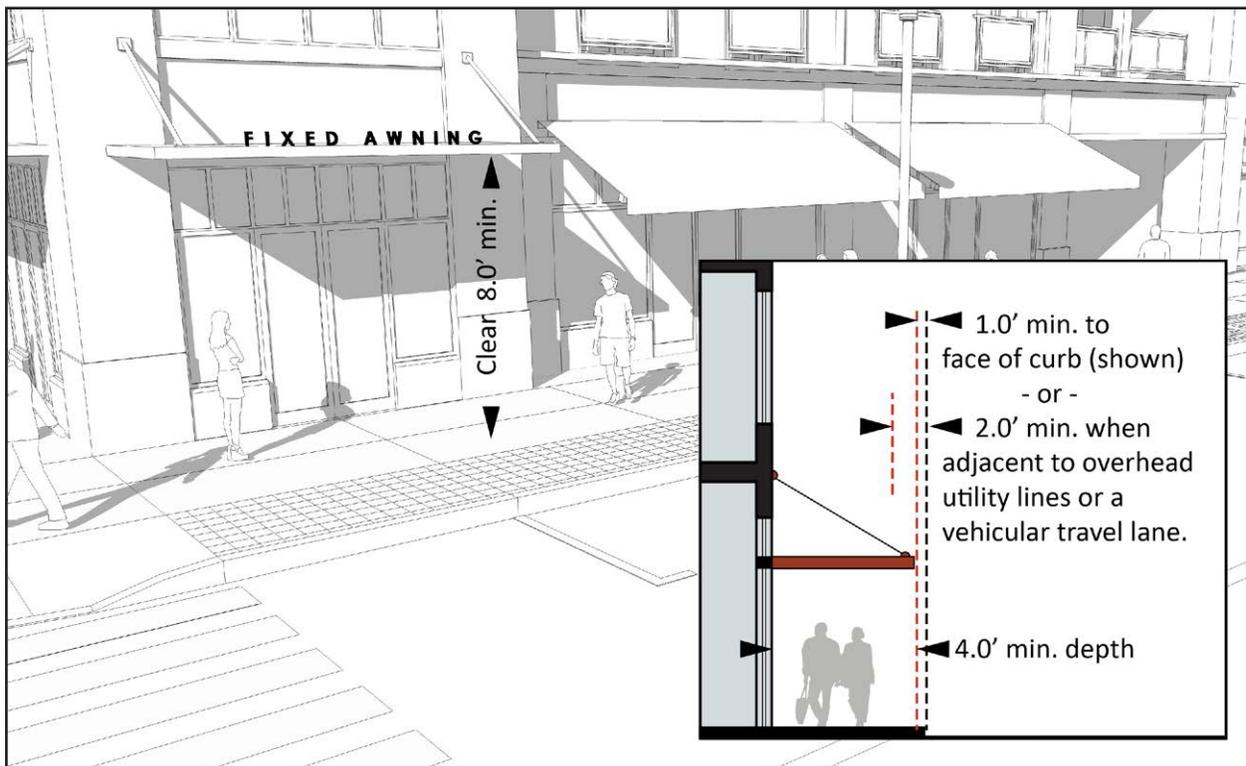
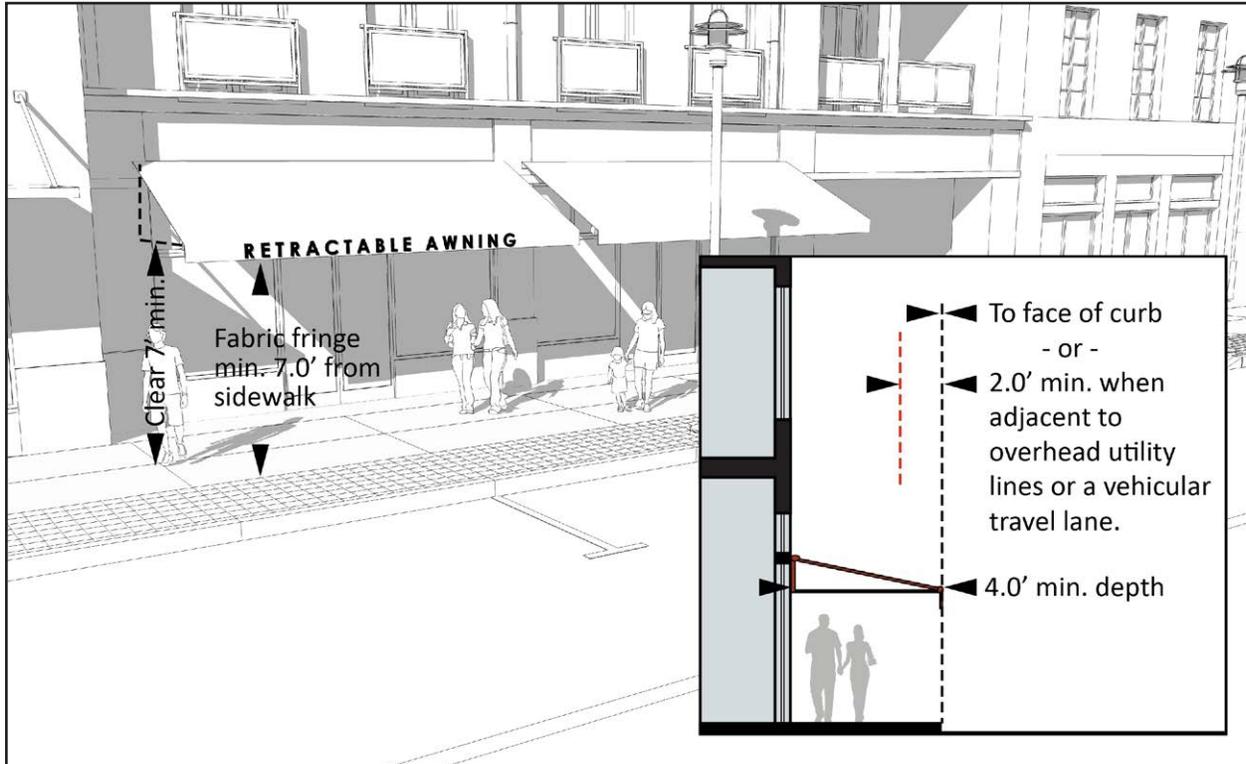
8. **Gallery Standards:** Galleries may not cover the public frontage unless the following standards are met:
- i. Galleries shall have the following minimum dimensions:
    - depth: 8.0 feet
    - height to ceiling: 11.0 feet
    - clear height: 8.0 feet
  - ii. Galleries are not permitted above the third story.
  - iii. No element of a gallery shall encroach closer than 1.0 foot to the face of curb, or 2.0 feet when adjacent to overhead utilities or a Drive Lane (as opposed to a Parking Lane).
  - iv. All gallery roof overhangs above 20.0 feet from the sidewalk can be built to the face of curb where overhead utilities are not present.
  - v. Galleries shall have a consistent depth.
  - vi. Galleries may include a vertical shade between columns to within 7.0 feet of the sidewalk.
  - vii. Galleries shall include illumination of the sidewalk.
  - viii. Galleries shall not be built over an electrical transformer.
  - ix. When built within the public right of way, Galleries are subject to applicable agreements with LCG and utility providers.

**(4)D BUILDING INTERFACE: GALLERY STANDARDS**



9. **Awning Standards:** Awnings may not cover the public frontage unless the following standards are met:
- i. Awnings shall have a minimum depth of 4.0 feet from the facade.
  - ii. Retractable Awnings may cover sidewalks to the face of curb and to a minimum height of 7.0 feet from the sidewalk.
  - iii. Fixed Awnings shall be built to a minimum height of 8' from the Sidewalk and to within 0.5 feet of the curb.
  - iv. Awnings shall not extend closer than 2.0 feet from the face of curb when adjacent to overhead utility lines or a Drive Lane (as opposed to a Parking Lane).
  - v. The fabric fringe of an awning may extend as a vertical shade to within 7.0 feet of the sidewalk where it does not impede the walkway.
  - vi. Fixed Awnings shall not be built over an electrical transformer.
  - vii. When built within the public right of way, Awnings are subject to applicable agreements with LCG and utility providers.

**(4)E BUILDING INTERFACE: AWNING STANDARDS**



1. **Vehicle Parking Space Requirements:**

- i. There shall be no minimum parking space requirements for all buildings of five (5) stories or less.
- ii. For buildings over five (5) stories, parking shall be provided on the lot, screened from the Walkway as per the provisions of this code, and the number of required parking spaces shall be as follows:
  - Retail: 3 Spaces / 1000 sf
  - Office: 2 Spaces / 1000 sf
  - Residential: 1 Space / Unit
  - Accommodations: 1 Space / Room

2. **Location of Off-Street Parking:** Off-Street Parking shall not be viewable from the Walkway unless the following conditions are met:

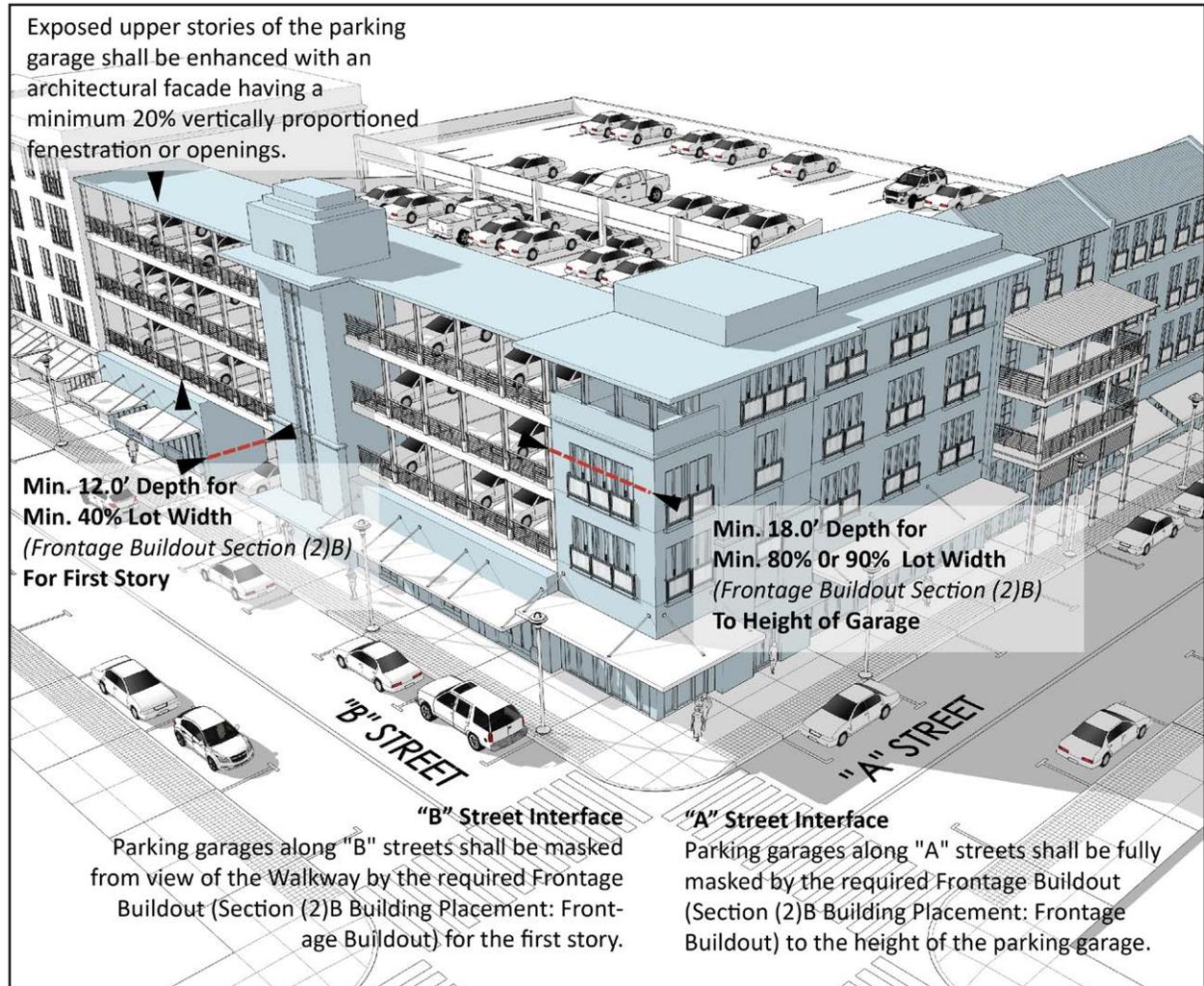
- i. Parking Garage Standards Section (5)3, or
- ii. Parking Screen Standard (5)4.

3. **Parking Garage Standards:** The following applies to parking garages:

- i. Parking garages along "B" streets shall be masked from view of the Walkway by the required Frontage Buildout [Section (2)B Building Placement: Frontage Buildout] for the first story. The remainder of the garage may be unmasked provided the following standards are met:
  - Upper stories of the parking garage shall have a facade where all openings are vertically proportioned.
  - Any exposed parking spaces at the ground story shall be subject to section (5)4 Parking Screen Standards.
- ii. Parking garages along "A" streets shall be fully masked by the required Frontage Buildout [Section (2)B Building Placement: Frontage Buildout] to the height of the parking garage.

**(5) PARKING & ACCESS**

Exposed upper stories of the parking garage shall be enhanced with an architectural facade having a minimum 20% vertically proportioned fenestration or openings.



**Min. 12.0' Depth for  
Min. 40% Lot Width  
(Frontage Buildout Section (2)B)  
For First Story**

**Min. 18.0' Depth for  
Min. 80% Or 90% Lot Width  
(Frontage Buildout Section (2)B)  
To Height of Garage**

**"B" Street Interface**

Parking garages along "B" streets shall be masked from view of the Walkway by the required Frontage Buildout (Section (2)B Building Placement: Frontage Buildout) for the first story.

**"A" Street Interface**

Parking garages along "A" streets shall be fully masked by the required Frontage Buildout (Section (2)B Building Placement: Frontage Buildout) to the height of the parking garage.

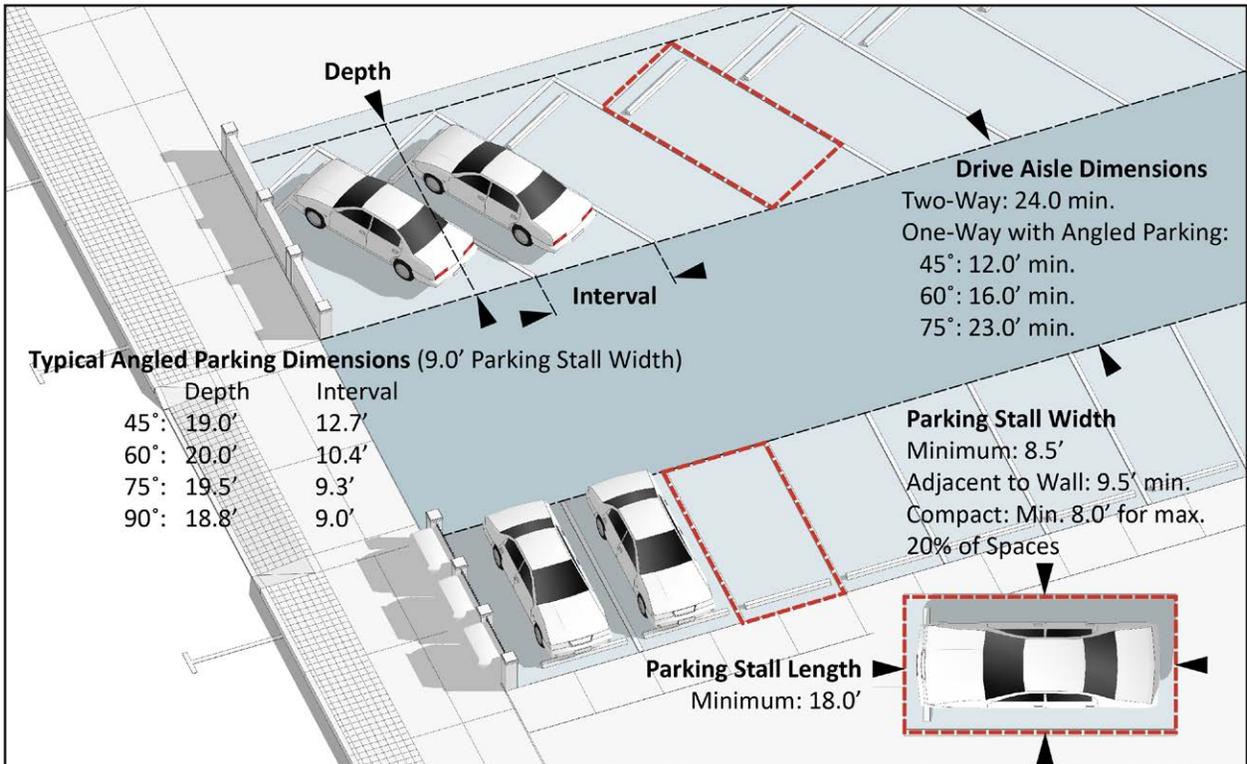
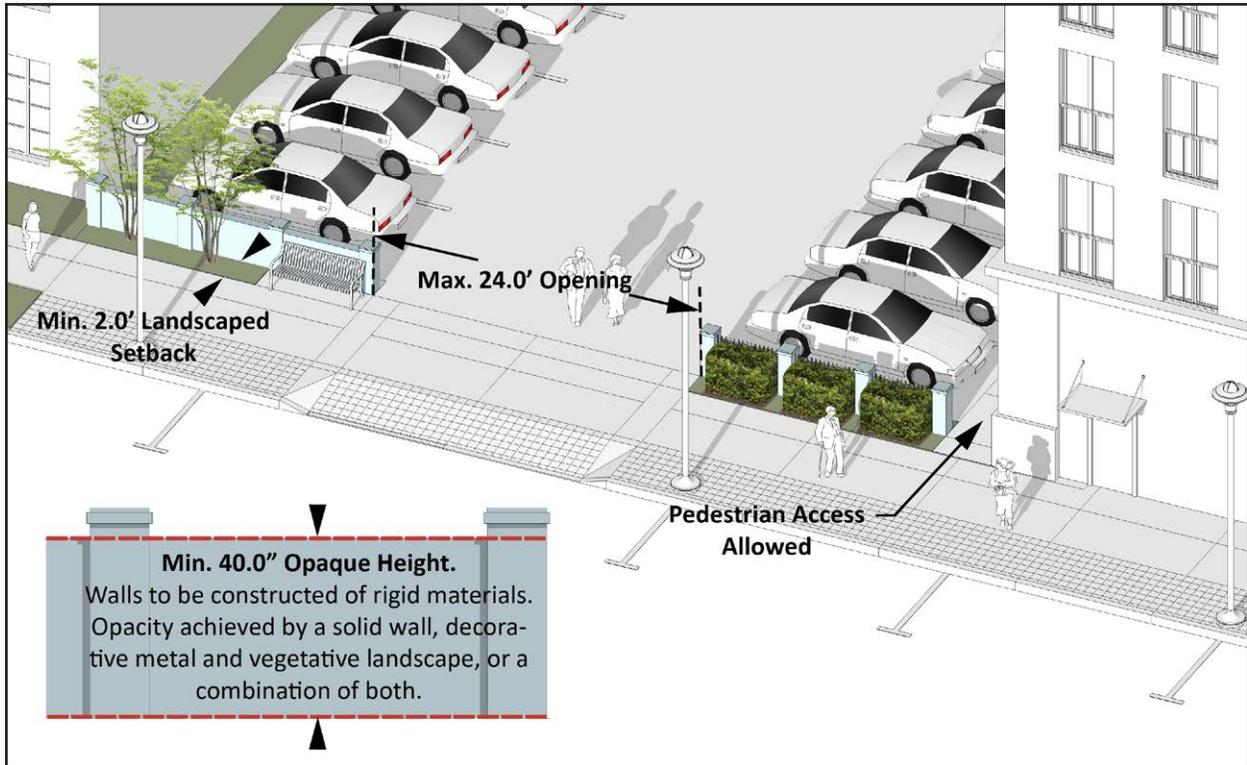
#### 4. **Parking Screen Standards**

- i. Opaque Height: 40.0 inches minimum, 8.0 feet maximum vertical distance from the top of the Walkway.
- ii. Material: Rigid opaque materials to minimum depth of 4.0 inches, and to the minimum height after which other materials may be used to the maximum height. Decorative metal in combination with vegetative landscaping can be used in place of rigid materials. Chain-link and wood fences are not permitted. Vegetative landscaping shall achieve and maintain the required minimum Opaque Height within one year of installation.
- iii. Setback Landscaping: Parking Screens shall be set back a minimum of 2.0 feet from the Walkway and may be landscaped or paved. In no case shall a Parking Screen be set closer to the Walkway than the Building Facade.
- iv. Parking Screens shall allow openings no wider than 24.0 feet for vehicles, and provide openings as needed for pedestrian access along the rear of the building.

#### 5. **Parking and Loading Access**

- i. Loading facilities and service areas shall not be visible along "A" Street Walkways.
- ii. Loading facilities and service areas are permitted within the Front Setback Area of a building on a "B" Street, but shall not count toward the required Frontage Buildout.
- iii. Garbage enclosures shall not be visible from view of a Walkway.
- iv. Where a lot abuts an alley, parking shall be accessed from the alley.
- v. Drive Aisle Dimensions: Minimum 24.0 feet for two way traffic. One-Way drive aisles are allowed only for angled parking (both back-in/head-out and head-in/back-out) with dimensions as follows:
  - 45 degree parking stall: minimum 12.0 foot drive aisle
  - 60° degree parking stall: minimum 16.0' foot drive aisle
  - 75° degree parking stall: minimum 23.0' foot drive aisle
- vi. Parking Stall Dimensions:
  - Width as measured on-centre: Minimum 8.0 feet, typically 9.0 feet, or a minimum 9.5' to accommodate door openings where the side of a stall is directly adjacent to a wall or vertical element over 6.0 inches in height.
  - Length: Minimum 18.0 feet.
- vii. Vehicular entrances to off-street parking lots and parking garages shall be no wider than 24.0 feet at the Front Lot Line.

**(5) PARKING & ACCESS**





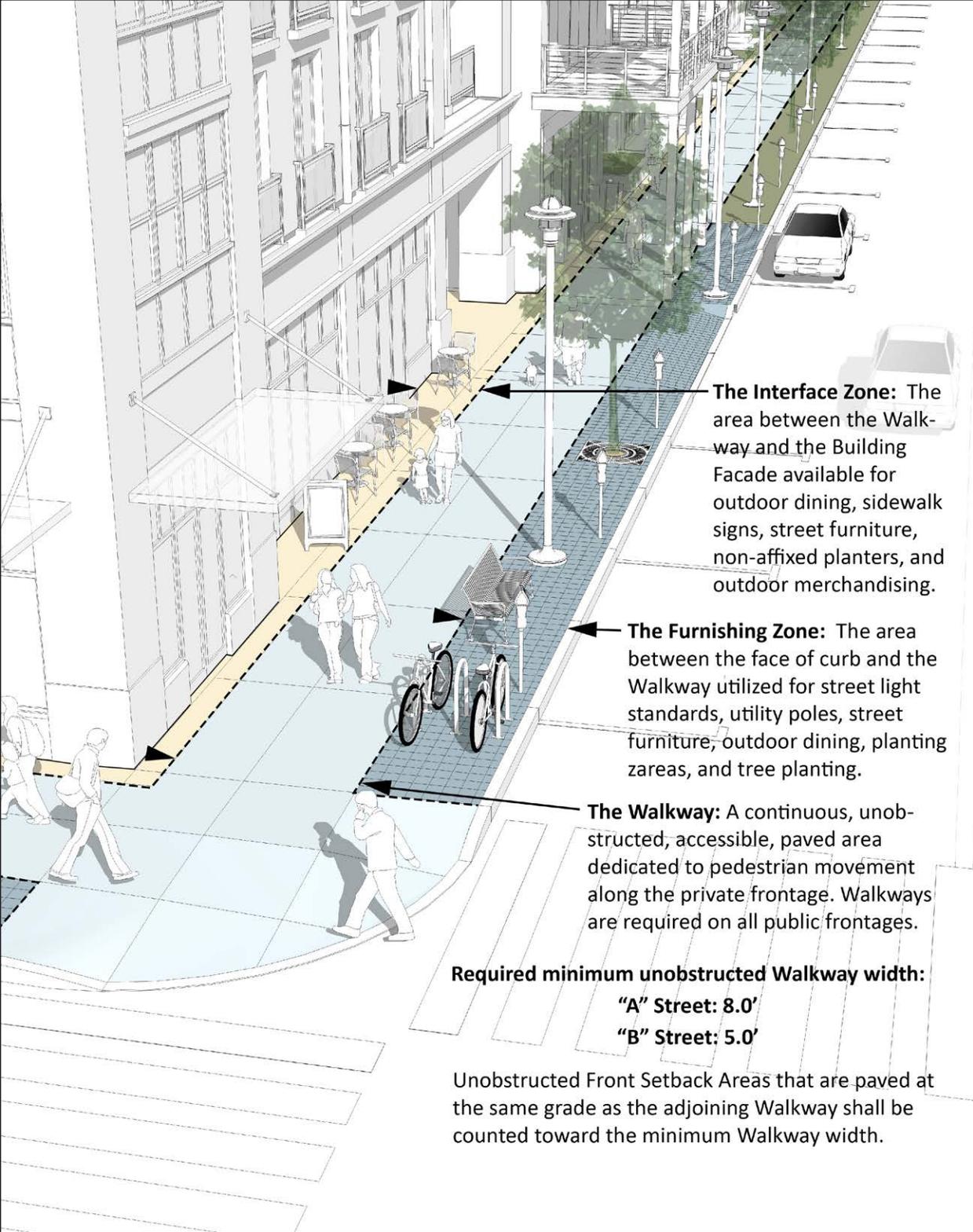
**(7) LAND USE**

- i. <Reserved>

1. **Public Frontage:** The public frontage shall be established as the area between the Front Lot Line and the face of curb.
2. **Public Frontage Components:** The public frontage has three primary components.
  - i. **The Furnishing Zone:** The area between the face of curb and the Walkway utilized for street light standards, utility poles, street furniture, outdoor dining, planting areas, and tree planting.
  - ii. **The Walkway:** A continuous, unobstructed, accessible, paved area dedicated to pedestrian movement along the private frontage. Walkways are required on all public frontages.
  - iii. **The Interface Zone:** The area between the Walkway and the Building Facade (not including residential yards) available for outdoor dining, sidewalk signs, street furniture, non-affixed planters, and outdoor merchandising.
3. **Minimum Walkway Widths:** Minimum, unobstructed Walkway widths shall be established as follows:
  - i. A minimum of 8.0 feet on "A" Streets.
  - ii. A minimum of 5.0 feet on "B" Streets.
  - iii. Unobstructed Front Setback Areas that are paved at the same grade as the adjoining Walkway shall be counted toward the minimum Walkway width.
  - iv. Bollards installed for pedestrian safety shall not be considered an obstruction to a Walkway.
  - v. Non-permanent outdoor dining may encroach into an "A" Street Walkway provided that a minimum 5.0 feet clear is maintained.

**(c) PUBLIC REALM REGULATIONS**

**(1) PUBLIC FRONTAGE**





## (d) DEFINITIONS

**"A" Street:** "A" Streets are designed at the highest standards for vibrancy as characterized by human activity and interaction, and public spaces defined by high quality outdoor rooms.

**Awning:** A permanently attached structure extending from the facade to provide shade to the public and private frontage. An awning may be a retractable fabric, permanently fixed fabric, or fixed cantilever structure.

**"B" Street:** "B" Streets maintain minimum standards for walkability while allowing for some flexibility for uses and locations where meeting "A" Street standards may not be viable.

**Balcony:** Habitable covered or uncovered outdoor space extending from the upper stories of a Building Facade not including a Gallery.

**Building Facade:** The principal front of a building facing a Front Lot Line.

**Building Footprint:** The horizontal area of a Lot on which a building or structure is built.

**Commercial Frontage:** A general commercial frontage suitable for office, retail, institutional, and other commercial uses within the urban setting of a downtown or main commercial main street. With an at-grade door built close to the Walkway and substantial transparent glass, this frontage encourages a high level of vibrancy and is typically combined with an Awning or Gallery frontage.

**Drive Lane:** A lane within the Thoroughfare intended for moving vehicles, as opposed to a parking lane.

**Flex Frontage:** A Frontage allowing both Residential and Commercial Uses to increase market flexibility where commercial uses may not always be viable on the ground floor.

**Front Lot Line:** A Front Lot Line is the front or side (in the case of a corner lot) lot line along a public street or pedestrian right-of way.

**Frontage:** The area composed of both the Private Frontage and the Public Frontage .

**Frontage Buildout:** The distance, measured as a percentage of lot width, that a building is required to be constructed within the Front Setback Area.

**Front Setback Area:** The area measured from the Front Lot Line to the maximum setback, within which the building can be constructed.

**Furnishing Zone:** A component of the Public Frontage defined by the Walkway utilized for street light standards, utility poles, street furniture, outdoor dining, planting areas, and tree planting.

**Gallery:** An attached structure that typically overlaps the Public Frontage to provide shade, and provides outdoor Habitable Space that may or may not be covered with a roof. The structure extends from the facade and is supported by a colonnade.

**Habitable Space:** Interior space suitable for human habitation including but not limited to office, residential, and retail uses.

**Interface Zone:** A component of the Public Frontage defined by the area between the Walkway and the Building Facade available for outdoor dining, sidewalk signs, street furniture, non-affixed planters, and outdoor merchandising.

**Lot:** A lot is parcel that cannot be further subdivided and is intended for a single building and its secondary building.

**Parcel:** A divisions of land that can contain multiple lots.

**Parking Lane:** The portion of the Thoroughfare dedicated to on-street parking.

**Parking Screen:** A low wall built to partially screen off-street parking viewable from the Walkway.

**Party Wall:** Traditionally a common wall adjoining two attached buildings, may also be an assembly of two separate building walls achieving the outward appearance of attached buildings.

**Pedestrian Passage:** A pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long blocks and connect rear parking areas to the Walkway.

**Private Frontage:** The area between the Front Lot Line up to and including the first story of the building facade.

**Private Building Interface:** The interface of a Building Facade and the Public Frontage and Thoroughfare including but not limited to openings, building access, and attachments such as Balconies, Awnings, and Galleries.

**Public Frontage:** The area between the Front Facade of a building and the face of curb.

**Urban Residential Frontage:** A frontage that allows for ground floor residential in an urban setting, maintaining a vibrant interface and minimal setback from the public frontage while providing a sense of privacy through a raised ground story.

**Walkway:** A required component of the Public Frontage defined as a continuous, unobstructed, accessible, paved area dedicated to pedestrian movement along the private frontage. Walkways are required on all public frontages.

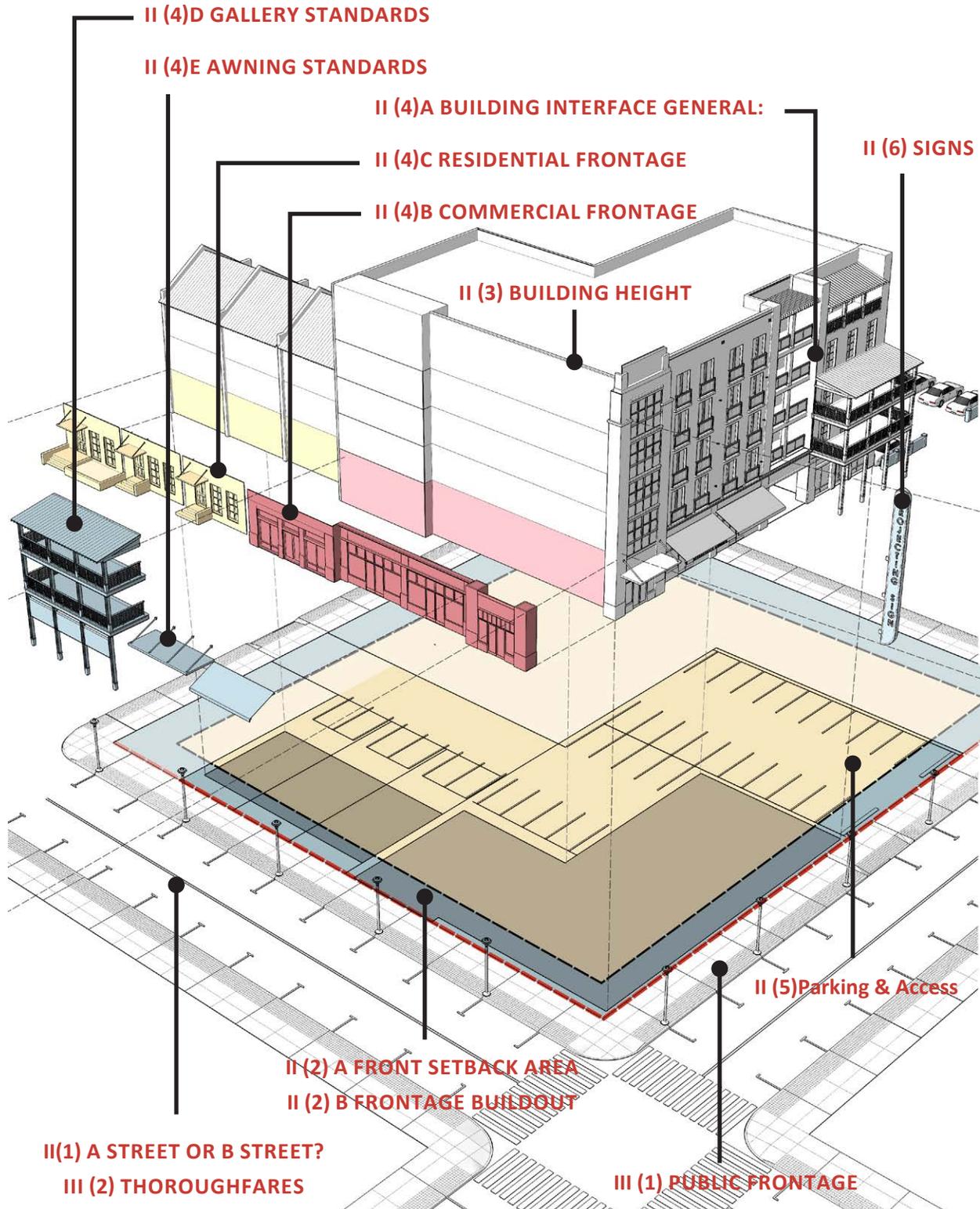


**DOWNTOWN CODE COMPLIANCE CHECKLIST**

Section	Requirement	Compliance	Notes
<b>APPLICABLE TO ALL</b>			
1	Is the Building Facade built within 10 feet of the Front Lot Line?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
2	Is the side of the building built as a Party Wall or at a minimum setback of 5 feet from the Side Lot Line?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
3	If there is a Rear Lot Line, is the building built at a minimum setback of 10 feet, or 12 from the center line of an alley, or 20 feet from an adjacent Residential zoning district?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
4	If on a Corner Lot, is the minimum Corner Triangle Setback maintained?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
5	Is the Front Facade built to a minimum Frontage Buildout percentage within the Front Setback Area?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
6	Is the building built to a minimum habitable depth of 18 feet from the Front Facade? (For Parking Garage Exception see Parking Garages)	Yes <input type="checkbox"/> No <input type="checkbox"/>	
7	Does the Front Facade align with the Front Lot Line?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
8	Unless the building is under 10,000 sf or is adjacent to an alley, is the maximum building footprint 90% of the lot area?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
9	Does the Front Facade achieve a minimum height or 20 feet?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
10	Do all stories achieve a minimum floor to ceiling height of 9 feet?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
11	Is rooftop mechanical equipment concealed from the view of the Walkway?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
12	Is the primary building entry within the Front Setback Area?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
13	Do Balconies extend less than 4 feet over the public right of way?	Yes <input type="checkbox"/> No <input type="checkbox"/>	

**(e) ADMINISTRATION**

**DOWNTOWN CODE COMPLIANCE CHECKLIST**



14	Is the glazing above the first story a minimum of 20% of the Front Facade area?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
15	If there is 300 or more feet of continuous building frontage, has a Pedestrian Passage been provided?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
16	Do Pedestrian Passages form a minimum at-grade opening of 12 feet in height and a width of 8 feet?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
17	Do any vehicular accessways through the building measure a minimum of 12 feet in width, a maximum 24 feet in width, and a minimum 10 feet in height?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
18	Do any vehicular accessways through the building that provide shared or service and emergency access measure a minimum of 20 feet in width and an 14 feet in height?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
19	Are all vehicular access points through the Front Setback Area less than 24 feet in width?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
20	If the Building Facade is wider than 100 feet, is it divided into distinct and separate facades no more than 100 feet wide?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
21	Are all loading facilities and service areas along "A" streets, and all Garbage facilities along "A" and "B" streets screened from view of the Walkway?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
22	Is a minimum unobstructed Walkway width of 8 feet on "A" streets and 5 feet on "B" streets provided?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
	<p>If any of the following conditions apply, see the appropriate checklist:</p> <p style="text-align: center;"><b>Is the building over 5 Stories?</b></p> <p style="text-align: center;"><b>Is the first story commercial?</b></p> <p style="text-align: center;"><b>is the first story residential?</b></p> <p style="text-align: center;"><b>Is there an Awning or Gallery?</b></p> <p style="text-align: center;"><b>Is off-Street parking provide?</b></p> <p style="text-align: center;"><b>Is there a parking garage?</b></p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	<p><i>Buildings over 5 Stories</i></p> <p><i>Commercial Frontage</i></p> <p><i>Residential Frontage</i></p> <p><i>Gallery &amp; Awning Standards</i></p> <p><i>Off-Street Parking</i></p> <p><i>Parking Garage</i></p>

Section	Requirement	Compliance	Notes
<b>BUILDINGS OVER 5 STORIES</b>			
23	Is the Building six or more stories, not counting any sixth story that is 40% or less floor area of the story below?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
24	Does the Front Facade step back a minimum of 10 feet at the sixth story?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
25	Does the building provide the minimum parking space requirements on-site?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
26	Is the parking screened from view of the Walkway? (See Parking Garage and Off-Street Parking checklists)	Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>COMMERCIAL FRONTAGE</b>			
27	Is the commercial ground story a minimum 13 foot floor to ceiling height?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
28	Is the first story facade glazed with a minimum 50% transparent glass on "A" Streets, and 30% for "B" Streets?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
29	Does the glass have no more than 15% reflectivity?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
30	Is the Front Setback Area paved where the building has been set back?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
31	Does the frontage have a Gallery or Awning attached? If so, see Gallery & Awning Standards checklist below.	Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>RESIDENTIAL FRONTAGE</b>			
32	Is the first story facade glazed with a minimum 25% transparent glass?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
33	Does the glass have no more than 15% reflectivity?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
34	Is the residential ground story raised a minimum 24 inches from Walkway grade?	Yes <input type="checkbox"/> No <input type="checkbox"/>	

<p><b>35</b></p>	<p>If the raised residential requirement is to be waived, have the following conditions been met?</p> <p>A: The ground story at the frontage is built to a commercial building standard to a minimum depth of 18 feet,</p> <p>B: there is no residential room at the frontage, and</p> <p>C: there is a separate entry for the residential and commercial areas with an interior lockable partition.</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>36</b></p>	<p>If the Front Facade is setback more than 6 feet from the walkway, is there a minimum 18" high and 44" deep Planter Wall at the edge of the yard?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>GALLERY AND AWNING STANDARDS</b></p>			
<p><b>GALLERY</b></p>			
<p><b>37</b></p>	<p>If a Gallery is proposed, does it meet the following minimum dimensions?</p> <p>A: depth: 8 feet,</p> <p>B: height to ceiling: 11 feet, and</p> <p>C: clear height: 8 feet</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>38</b></p>	<p>Are there no galleries above the 3rd story?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>39</b></p>	<p>Is no element closer than 1 foot from the face of curb, or 2 feet when adjacent to overhead utilities or a Drive Lane?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>40</b></p>	<p>Does the Gallery have a consistent depth?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>41</b></p>	<p>If there is a vertical shade mechanism between columns, is it no closer than 7 feet to the sidewalk?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>42</b></p>	<p>Does the Gallery include Illumination of the Sidewalk?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p><b>AWNINGS</b></p>			
<p><b>43</b></p>	<p>Is the awning a minimum depth of 4 feet?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	

44	If a retractable awning, does extend no further than the face of curb and a minimum height of 7 feet from the sidewalk?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
45	Does the awning extend no closer than 2 feet from the face of curb where adjacent to overhead utilities ?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
46	Does the fabric fringe of the awning extend no closer than 7 feet from the sidewalk?	Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>OFF-STREET PARKING</b>			
47	<p>Where off-street parking is viewable from a walkway, is a parking screen provided that:</p> <p>A: Is an opaque height of 40" minimum, 8 feet maximum, and</p> <p>B: Constructed of rigid materials to a minimum depth of 4", or decorative metal in combination with vegetative landscaping, and</p> <p>C: if vegetative landscaping, it is demonstrated to grow to provide opaque requirement within one year of installation?</p>	<p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
48	<p>Are minimum drive aisle dimensions are as follows?</p> <p>A: 24 feet for two way traffic</p> <p>B: 45 degree: 12 feet</p> <p>C: 60 degree: 16 feet</p> <p>D: 75 degree: 23 feet</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	

49	<p>Are minimum parking space dimensions as follows?</p> <p>Regular width: 8.5 feet</p> <p>Adjacent to wall width: 9.5 feet</p> <p>Compact width: 8 feet for maximum 20% of spaces.</p> <p>Depth: 18.0 feet</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	
50	<p>Is the vehicular entry to the off-street parking lot no more than 24 feet?</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>PARKING GARAGE</b>			
51	<p>If the parking garage is along an "A" Street, is it screened from Walkway view to a minimum width of required Frontage Buildout and to a minimum height of the parking garage height?</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	
52	<p>If the parking garage is along a "B" Street, does it meet the following criteria?</p> <p>A: It is screened from Walkway view by Habitable Space to a minimum width of required Frontage Buildout for the first story,</p> <p>B: Any exposed ground floor parking adheres to the parking screen requirements.</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	
53	<p>Do the exposed upper stories of the parking garage have an architectural facade of no less than 20% vertically proportioned fenestration or openings?</p>	Yes <input type="checkbox"/> No <input type="checkbox"/>	