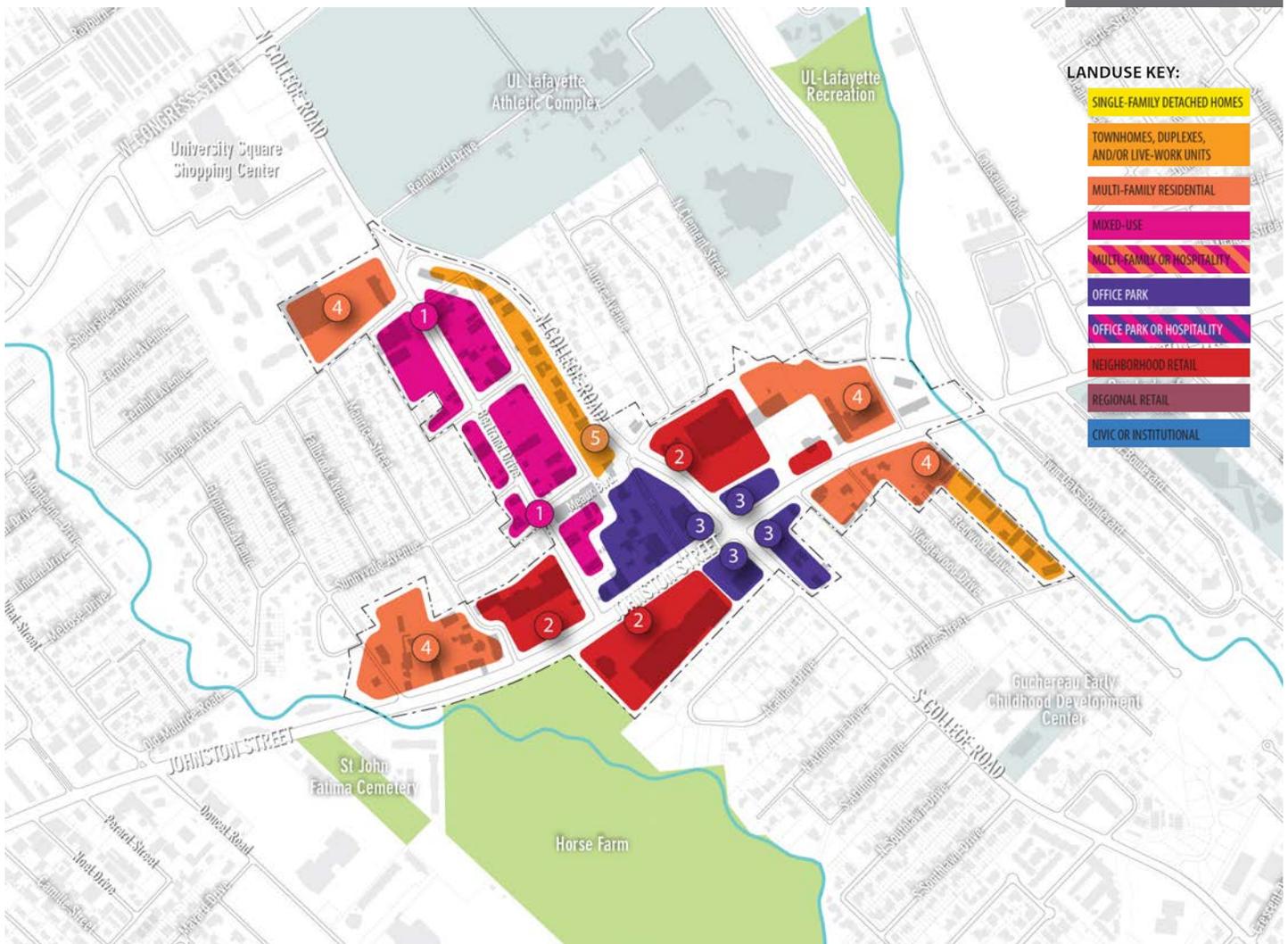




Urban Design Principles

- Implement build-to lines on Bertrand Drive and then new Meaux Boulevard.
- Development at the following intersections should “hold the corner”
 - Johnston and College
 - Johnston and Bertrand
 - Bertrand and College
- New development should place parking behind buildings.
- Where existing parking lots front major streets, try to place “pad” development at the front of the development wherever possible.
- Plant street trees along all new streets and when improving existing streets.
- Higher intensity uses should provide private open space amenities on site where possible.



Land Use

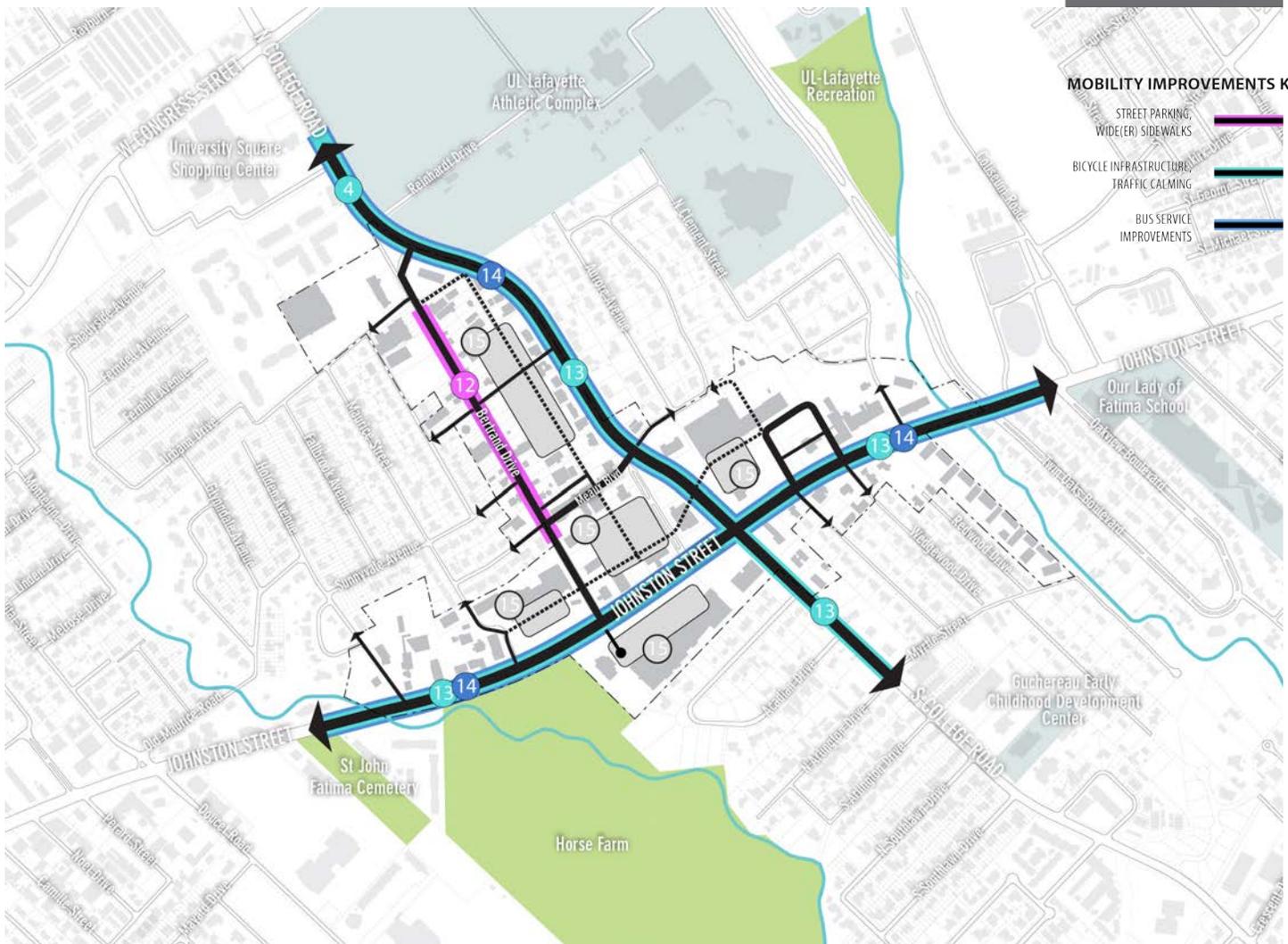
1. Encourage mixed-use development along Bertrand including....
 - Shopfront retail
 - Housing or office above retail
 - Pedestrian amenities
 - Traffic calming
2. Maintain the Community retail land use along Johnston St.
 - Keep existing “anchor” structures
 - Place “pad” sites at strategic locations adjacent to the Johnston St ROW
3. Corporate or professional office to create a “100% corner” at the intersection of Johnston and College.
4. Encourage higher intensity residential development
 - adjacent to the new open space amenities
 - as a transition between high-intensity commercial uses and existing neighborhoods
5. Encourage live-work units along College



Connectivity

- 6. Re-orient Meaux Boulevard to connect to Bertrand instead of Johnston Street.
- 7. Break up the super-block at the NE corner of Johnston. If possible, align the new street with existing streets.
- 8. Break up larger blocks with circulation for service and parking. Use existing service right’s-of-way where possible, e.g. the “drop off” zones in front of the existing large-scale retail buildings.
- 9. Provide safe pedestrian crossings at key intersections. Bertrand-Johnston, Meaux-College, Bertrand-College, and Johnston-College.
- 10. Limit individual curb cuts for future developments on Johnston and Bertrand. Use right-in, right-out configurations

- where alleys and secondary streets intersect arterial streets.
- 11. Re-configure the intersection of College and Bertrand to serve as a “gateway” for the Bertrand Mixed-use Corridor. Further study required to determine the optimal configuration.



Mobility Improvements

12. Provide street parking, shade trees and sidewalks on Bertrand as an amenity to pedestrians and storefront retail.
13. Provide complete street best practices along Johnston St, Bertrand St., and College St. to improve safety and connectivity to the surrounding neighborhoods.
 - sidewalks
 - Street trees
 - Cycle tracks
14. Investigate expanded bus service for this area. Consider a Bus Rapid Transit (BRT) line along Johnston St. and a new bus line on North College.
15. Institute a district-level, shared parking strategy for retail-office uses to reduce parking requirements. Study interior circulation and need for improvements.



Open Space

16. Create a series of pocket parks/plazas along the new Bertrand “Main St” corridor.
17. Create an open space amenity within the super-block at the NE corner of Johnston and College.
18. Create a stormwater park and passive recreation area at the intersection of Coulee Mine and Johnston Street.
19. Create a neighborhood park as an amenity for the surrounding neighborhood.
20. Investigate the use of the coulees to improve connectivity of recreational trails to existing open space amenities.